

CLUB HOUSE

INTERIOR DESIGN CONSTRUCTION SET

NASHVILLE, TN



Project Description:
The Club House Apartments is an existing complex and the scope of this work focuses on finish and fixture upgrades to portions of the Club House. All aspects of egress remain as they currently function. The ground level restroom layouts are being modified to accommodate an accessible toilet stall and other work is kept to cabinet upgrades, finishes and fixtures.

SHEET LIST	
NUMBER	NAME
ID000	COVER
ID100	CODE RESEARCH + TOILET ACCESSORIES
ID101	CONSTRUCTION PHASING PLAN
ID102	GROUND FLOOR DEMOLITION PLAN
ID103	FIRST FLOOR DEMOLITION PLAN
ID104	CEILING DEMOLITION PLAN
ID200	GROUND FLOOR FURNITURE PLAN
ID201	FIRST FLOOR FURNITURE PLAN
ID202	GROUND FLOOR CONSTRUCTION PLAN
ID203	FIRST FLOOR CONSTRUCTION PLAN
ID204	GROUND FLOOR CEILING PLAN
ID205	FIRST FLOOR CEILING PLAN
ID300	GROUND FLOOR FINISH PLAN
ID301	FIRST FLOOR FINISH PLAN
ID400	INTERIOR ELEVATIONS/DETAILS
ID401	INTERIOR ELEVATIONS/DETAILS
ID500	DETAILS & SCHEDULES



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CLIENT
CLUB HOUSE APARTMENTS

PROJECT LOCATION
NASHVILLE, TN

PROJECT NAME
CLUB HOUSE

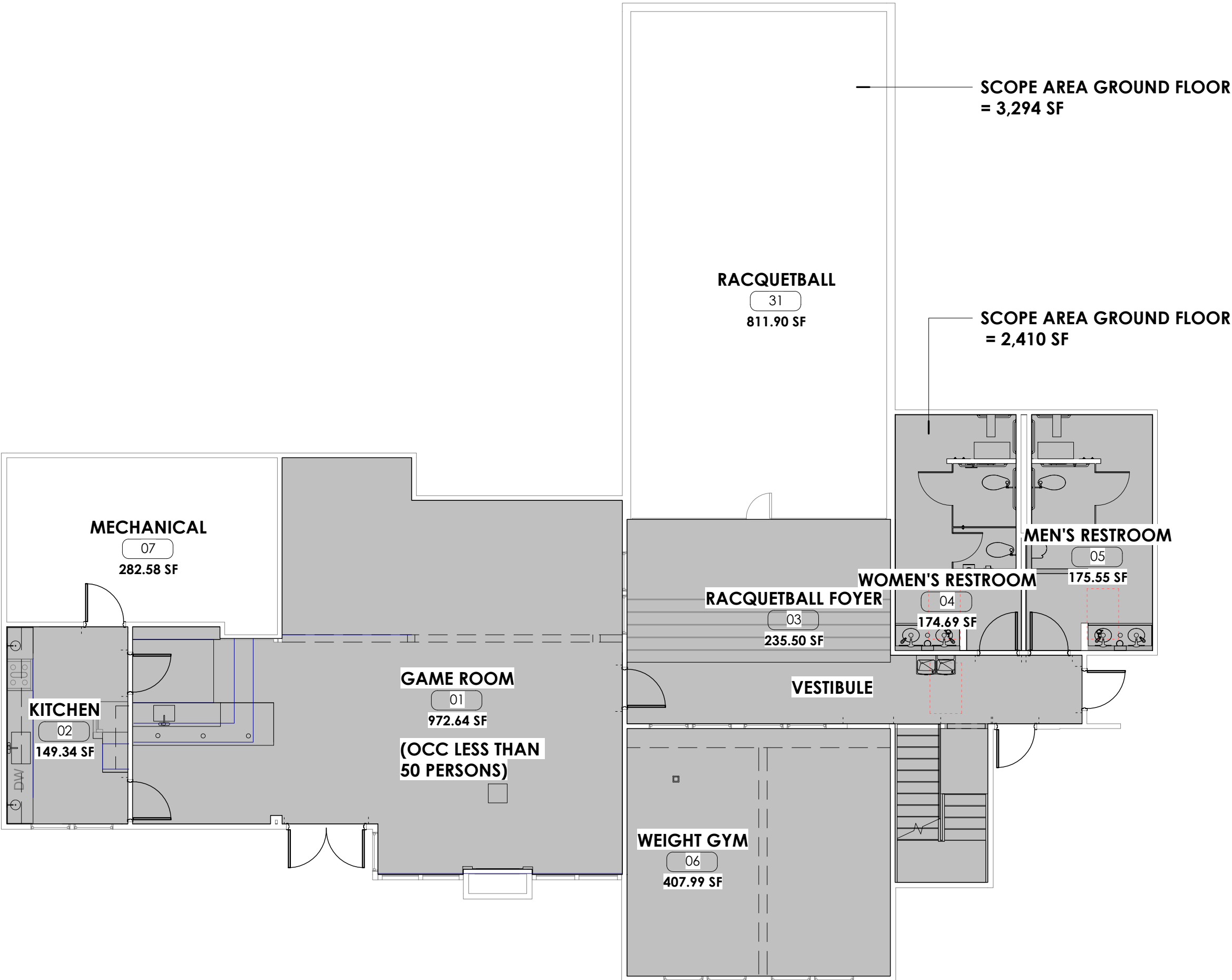
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DRAWING SCALE

06/29/2021

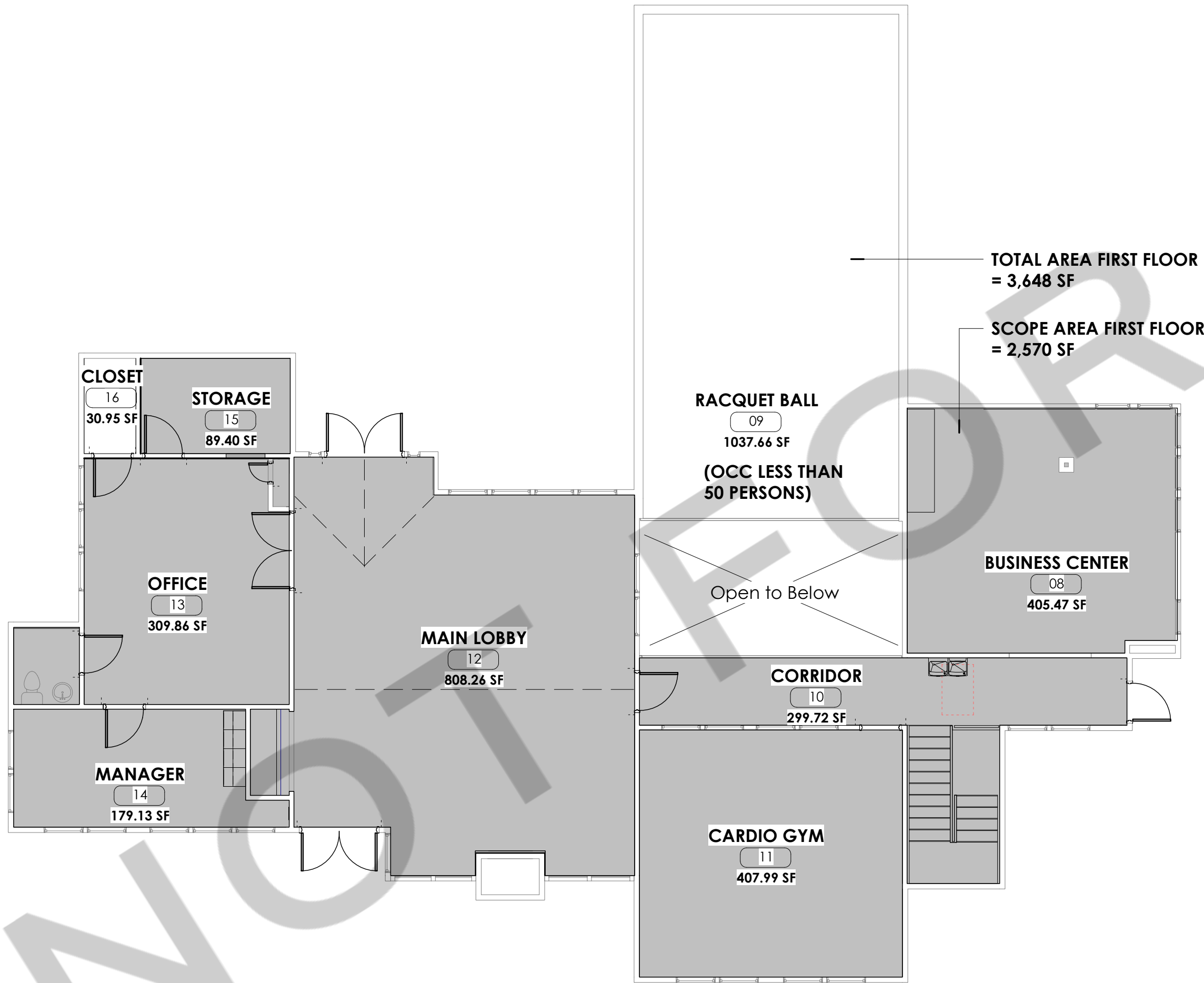
DRAWING TITLE
COVER

REVISIONS:		
NUMBER	DATE	DESCRIPTION
1	8/3/2021	KITCHEN

CONSTRUCTION DOCUMENTS
ID000



GROUND LEVEL - CODE PLAN



FIRST FLOOR - CODE PLAN

Building Type: VB Non-Sprinkled
Building Code: 2018 International Building Code
Classification: Business
Occupancy: **B. Small business or tenant space.** A building or tenant space used for assembly purposes with an occupant load of less than 50 persons.
Description: Buildings for the transaction of business, professional services, other services involving merchandise, office buildings, banks light industrial and similar uses.

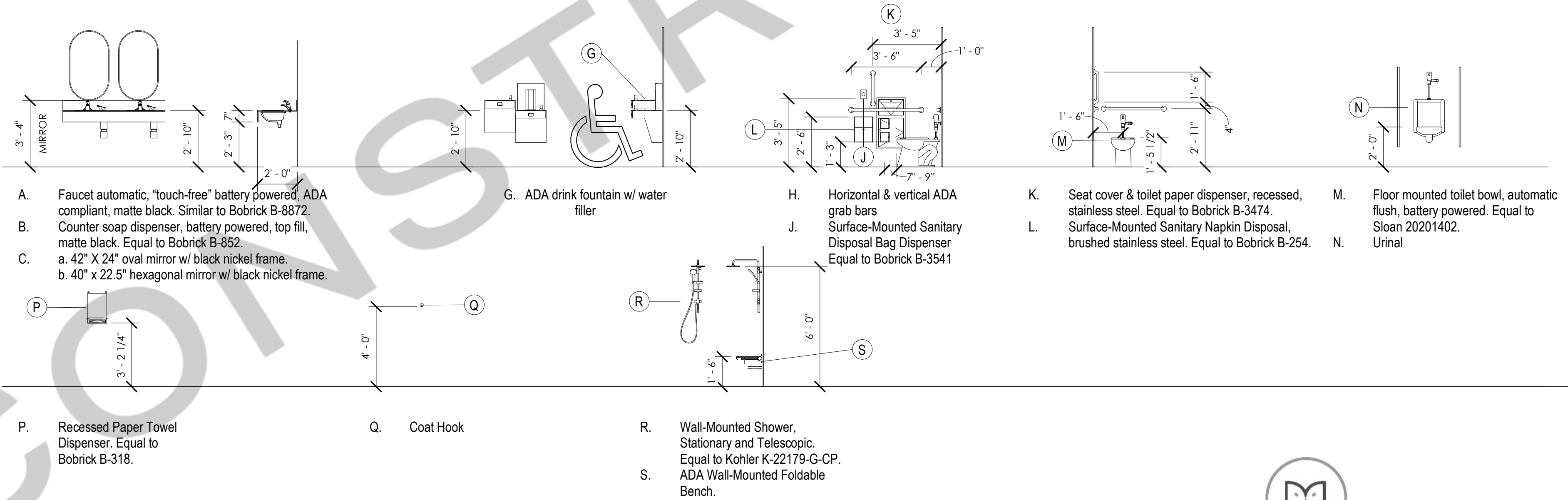
Maximum floor area allowance per occupant:
Business area: 100 gross

Small assembly spaces:
The following rooms or spaces shall not be classified as Assembly occupancy:
1. A room or space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.
2. a room or space used for assembly purposes that is less than 750 SQFT (70 m2) in area and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.

Minimum number of required plumbing fixtures:
Water closets (male/female): 1 per 25 for the first 50, and 1 per 50 for the remainder exceeding 50. 2 REQUIRED PER OCCUPANCY COUNTS
Lavatories (male/female): 1 per 40 for the first 80, and 1 per 80 for the remainder exceeding 80. 2 REQUIRED PER OCCUPANCY COUNTS
Bathtubs/Shower: N/A
Drinking fountains: 1 per 100.

Provided:
Women's water closet: 2 Women's Lavatory: 2
Men's water closet: 1 Men's Lavatory: 2
Men's Urinal: 1 Drinking Fountain: 2 (1 per level)
Shower: 2

TOILET ACCESSORIES



OCCUPANCY SCHEDULE				
NAME	OCCUPANCY	AREA	LOAD FACTOR	OCCUPANT LOAD
Not Placed				
Coffee Nook		Not Placed		
Room		Not Placed		
Room		Not Placed		
Room		Not Placed		
Room		Not Placed		
Room		Not Placed		
Room		Not Placed		
Room		Not Placed		
Room		Not Placed		
GROUND LEVEL				
WEIGHT GYM	BUSINESS	408 SF	100 SF	4
MECHANICAL		283 SF	0 SF	
GAME ROOM	BUSINESS	973 SF	100 SF	10
KITCHEN	BUSINESS	149 SF	100 SF	1
WOMEN'S RESTROOM		175 SF	0 SF	
MEN'S RESTROOM		176 SF	0 SF	
RACQUETBALL	BUSINESS	812 SF	100 SF	8
RACQUETBALL FOYER	BUSINESS	235 SF	100 SF	2
VESTIBULE		184 SF	100 SF	2
FIRST FLOOR				
STORAGE		89 SF	0 SF	
CLOSET		31 SF	0 SF	
MAIN LOBBY	BUSINESS	808 SF	100 SF	8
CARDIO GYM	BUSINESS	408 SF	100 SF	4
BUSINESS CENTER	BUSINESS	405 SF	100 SF	4
RACQUET BALL		1038 SF	0 SF	
MANAGER	BUSINESS	179 SF	100 SF	2
OFFICE	BUSINESS	310 SF	100 SF	3
CORRIDOR		300 SF	0 SF	
COFFEE NOOK		21 SF	0 SF	
TOTAL OCCUPANCY				49



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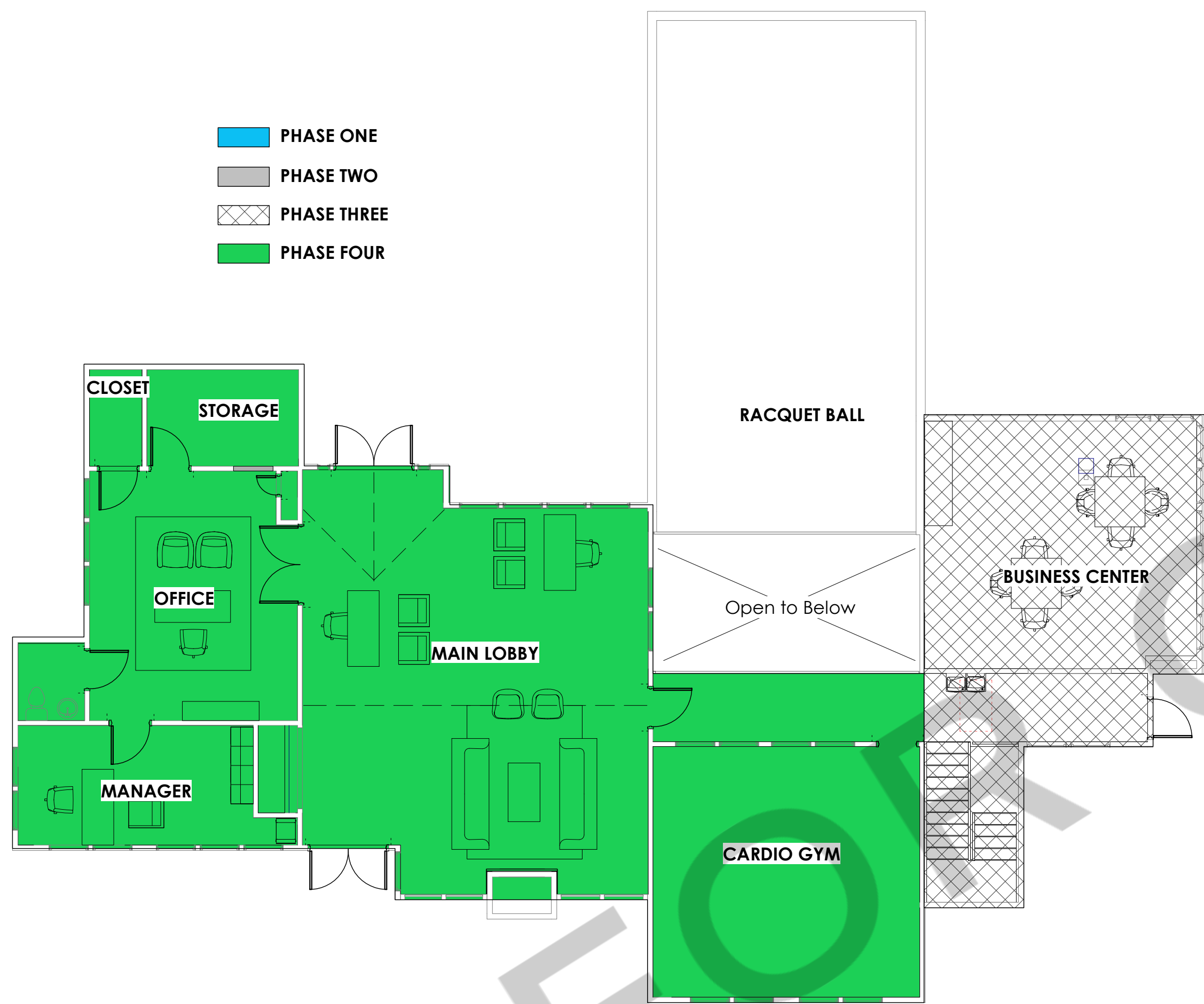
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CODE RESEARCH + TOILET ACCESSORIES

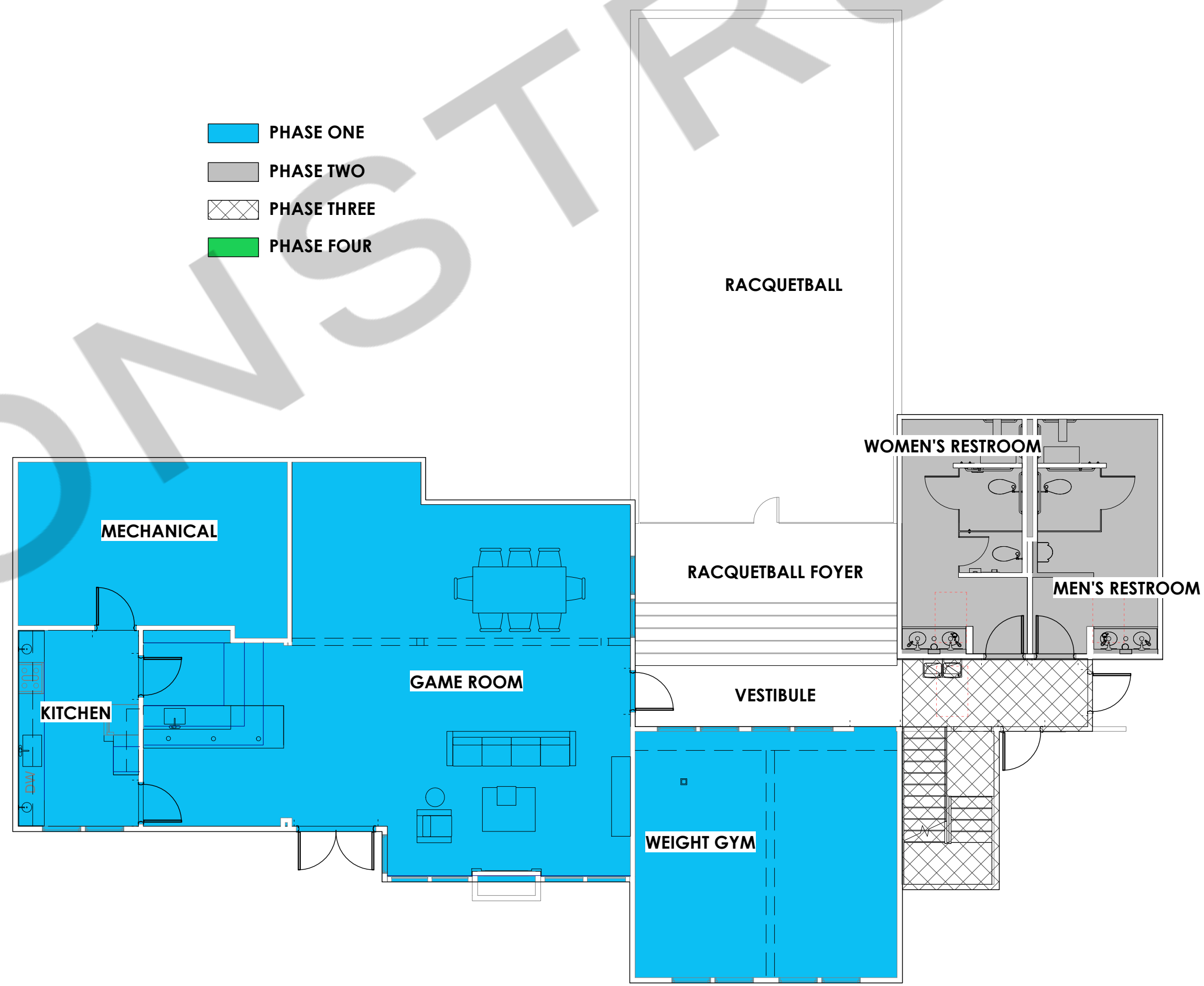
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CONSTRUCTION DOCUMENTS

ID100



1 **FIRST FLOOR - CONSTRUCTION PHASING PLAN**
1/8" = 1'-0"



2 **GROUND LEVEL - CONSTRUCTION PHASING PLAN**
1/8" = 1'-0"

DEMOLITION CEILING AND FLOOR PLAN
GENERAL NOTES

- 1- RESTROOMS: DEMOLISH FLOOR AND WALL TILE, REMOVE EXISTING VANITIES, WATER CLOSETS, URINAL, PLUMBING FIXTURES, AND TOILET PARTITIONS. CAP PLUMBING AS REQUIRED.
- 2- ALL DASHED DOORS TO BE REMOVED AND REPLACED WITH NEW, UNLESS NOTED OTHERWISE. SEE DOOR SCHEDULE. DOOR TRIM TO REMAIN.
- 3- KITCHEN AND COFFEE NICHE CABINETS, SINK & COUNTERTOPS TO BE DEMOLISHED IN BASE BID. SEE ALTERNATE NOTES ON COVER SHEET FOR MORE INFORMATION.
- 4- ALL FLOOR FINISHES AND ASSOCIATED BASE TO BE REMOVED UNLESS NOTED OTHERWISE IN PLAN.
- 5- REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK INCLUDING BUT NOT LIMITED TO: ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.
- 6- PATCH EXISTING CONSTRUCTION TO MATCH EXISTING AS REQUIRED TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- 7- REFER TO CEILING DEMOLITION PLAN FOR CEILING BEING REMOVED. IN ALL ROOMS, REMOVE ANY PARTS OF THE CEILING THAT ARE DAMAGED, HAVE MOLD, OR ARE COMPROMISED.
- 8- REMOVE SOFFIT IN GAME ROOM UNLESS IT SERVES THE PURPOSE OF HIDING PLUMBING OR ANY STRUCTURE THAT CAN NOT BE REMOVED. REPORT TO ARCHITECT IF SOFFIT CANT BE REMOVED.
- 9- REMOVE DIFFUSERS, VENT GRILLS, ETC. (TO BE REPLACED BY NEW ONES)
- 10- REMOVE EXISTING LIGHT FIXTURES AND PATCH CEILING. (ALL LIGHT FIXTURES TO BE REPLACED. SEE RCP.)
- 11- DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL REMOVED CONSTRUCTION, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- 12- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- 13- IF ITEMS ARE NOT AS NOTED IN DRAWINGS, CONTACT DESIGNER FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK RELATIVE TO THAT ELEMENT, TYP.

- EXISTING CONSTRUCTION
- DEMOLISHED ELEMENT



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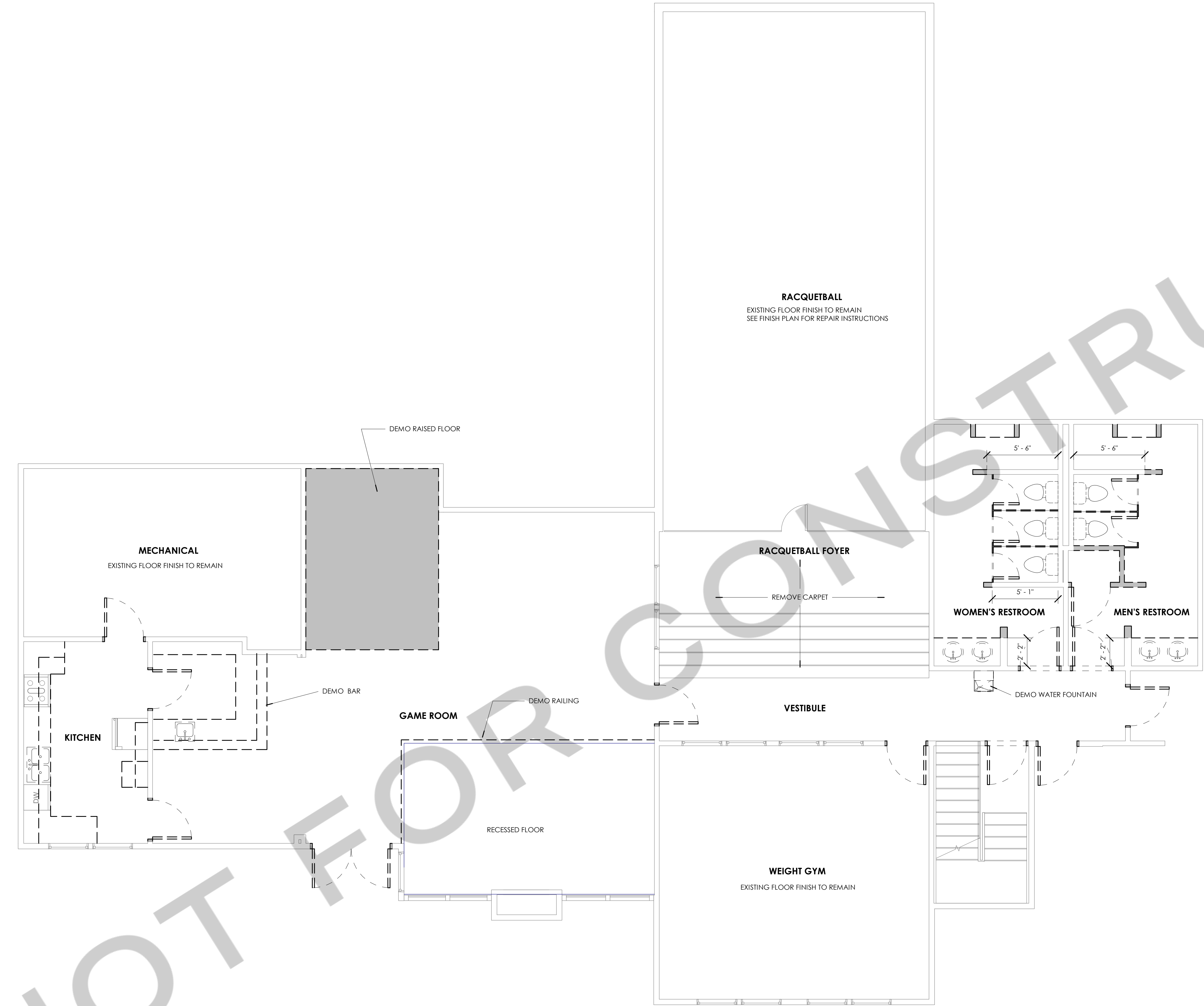
DRAWING SCALE
1/4" = 1'-0"

DRAWING TITLE
**GROUND FLOOR
DEMOLITION PLAN**

REVISIONS:

NUMBER	DATE	DESCRIPTION
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CONSTRUCTION DOCUMENTS
ID102



1 **GROUND LEVEL DEMOLITION PLAN**
1/4" = 1'-0"

DEMOLITION CEILING AND FLOOR PLAN
GENERAL NOTES

- 1- RESTROOMS; DEMOLISH FLOOR AND WALL TILE. REMOVE EXISTING VANITIES, WATER CLOSETS, URINAL, PLUMBING FIXTURES, AND TOILET PARTITIONS, CAP PLUMBING AS REQUIRED.
- 2- ALL DASHED DOORS TO BE REMOVED AND REPLACED WITH NEW, UNLESS NOTED OTHERWISE. SEE DOOR SCHEDULE. DOOR TRIM TO REMAIN.
- 3- KITCHEN AND COFFEE NICHE CABINETS, SINK & COUNTERTOPS TO BE DEMOLISHED IN BASE BID. SEE ALTERNATE NOTES ON COVER SHEET FOR MORE INFORMATION.
- 4- ALL FLOOR FINISHES AND ASSOCIATED BASE TO BE REMOVED UNLESS NOTED OTHERWISE IN PLAN.
- 5- REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.
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- 8- REMOVE SOFFIT IN GAME ROOM UNLESS IT SERVES THE PURPOSE OF HIDING PLUMBING OR ANY STRUCTURE THAT CAN NOT BE REMOVED. REPORT TO ARCHITECT IF SOFFIT CAN'T BE REMOVED.
- 9- REMOVE DIFFUSERS, VENT GRILLS, ETC. (TO BE REPLACED BY NEW ONES)
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- EXISTING CONSTRUCTION
- DEMOLISHED ELEMENT



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DRAWING SCALE

06/29/2021
1/4" = 1'-0"

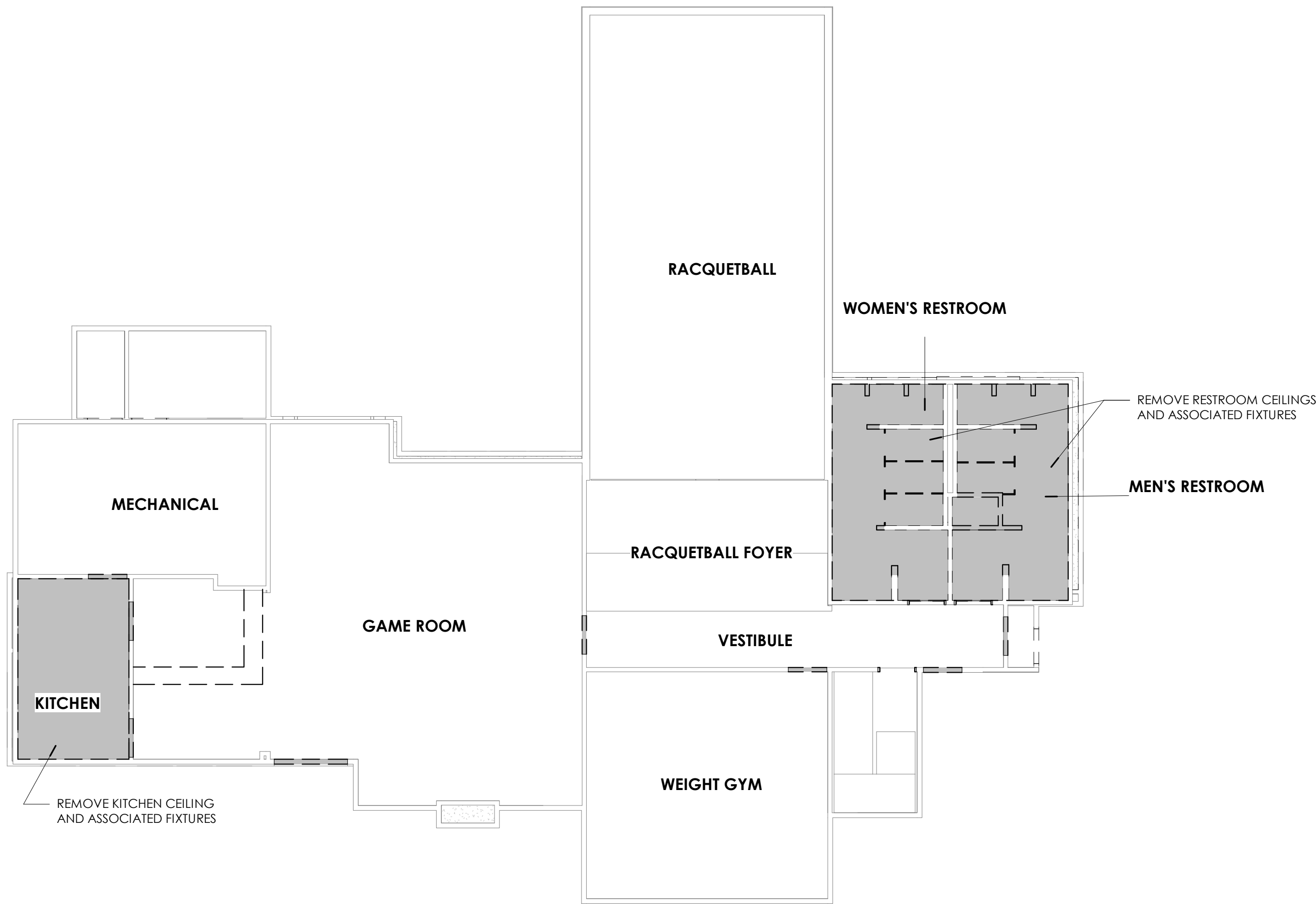
DRAWING TITLE
**FIRST FLOOR DEMOLITION
PLAN**

REVISIONS:
NUMBER DATE DESCRIPTION

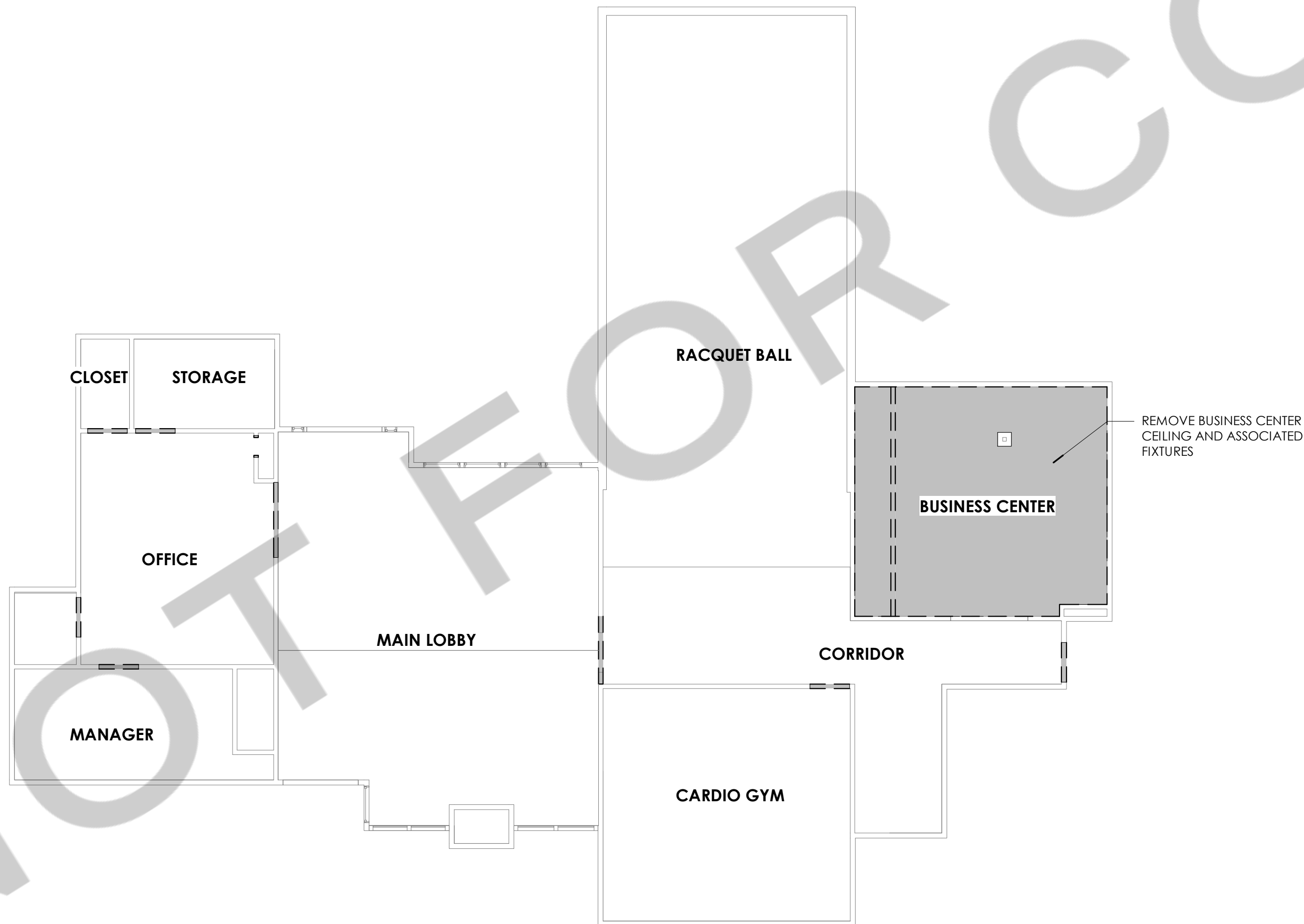
CONSTRUCTION DOCUMENTS

ID103

1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



2 GROUND FLOOR DEMO RCP
1/8" = 1'-0"



1 FIRST FLOOR DEMO RCP
1/8" = 1'-0"

DEMOLITION CEILING AND FLOOR PLAN GENERAL NOTES

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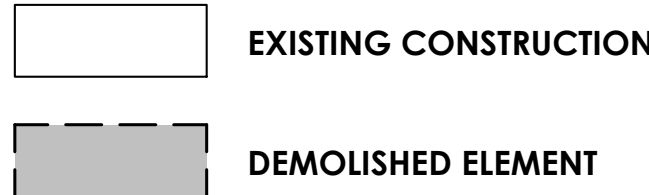
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CLUB HOUSE

DATE ISSUED

06/29/2021

DRAWING SCALE

As indicated

DRAWING TITLE

CEILING DEMOLITION
PLAN

REVISIONS:

NUMBER	DATE	DESCRIPTION
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CONSTRUCTION DOCUMENTS

ID104

FURNITURE SCHEDULE



CH-1: GAME ROOM
BAR STOOL AND
CONFERENCE CHAIR



TB-6: MAIN LOBBY
COFFEE TABLE



CH-12:
MANAGER'S STOOL

D-3: OFFICE DESK



CH-3: NOT IN USE

TB-7: NOT IN USE

CH-7: NOT IN USE



CH-13: OFFICE TASK
CHAIR



TB-2: GAME ROOM
COFFEE TABLE



D-1: MAIN LOBBY DESK



CH-14: OFFICE GUEST
CHAIR



CH-4: GAME ROOM
SOFA



CH-8: MAIN LOBBY TASK
CHAIR



TB-8: OFFICE CREDENZA



TB-3: GAME ROOM SIDE
TABLE



CH-9: MAIN LOBBY
GUEST CHAIR



TB-4: GAME ROOM
CREDENZA



D-2: MANAGER'S DESK



TB-9: BUSINESS CENTER
TABLE



CH-5: MAIN LOBBY
SOFA



CH-10: MANAGER'S
TASK CHAIR



TB-10: BUSINESS CENTER
CREDENZA



CH-6: MAIN LOBBY
CHAIR



CH-15: BUSINESS
CENTER CHAIR

CH-11: MANAGER'S GUEST
CHAIR

RACQUETBALL

RACQUETBALL FOYER

WOMEN'S RESTROOM

MEN'S RESTROOM

VESTIBULE

WEIGHT GYM

GAME ROOM

MECHANICAL

KITCHEN

RANGE

1 GROUND LEVEL FURNITURE PLAN
1/4" = 1'-0"



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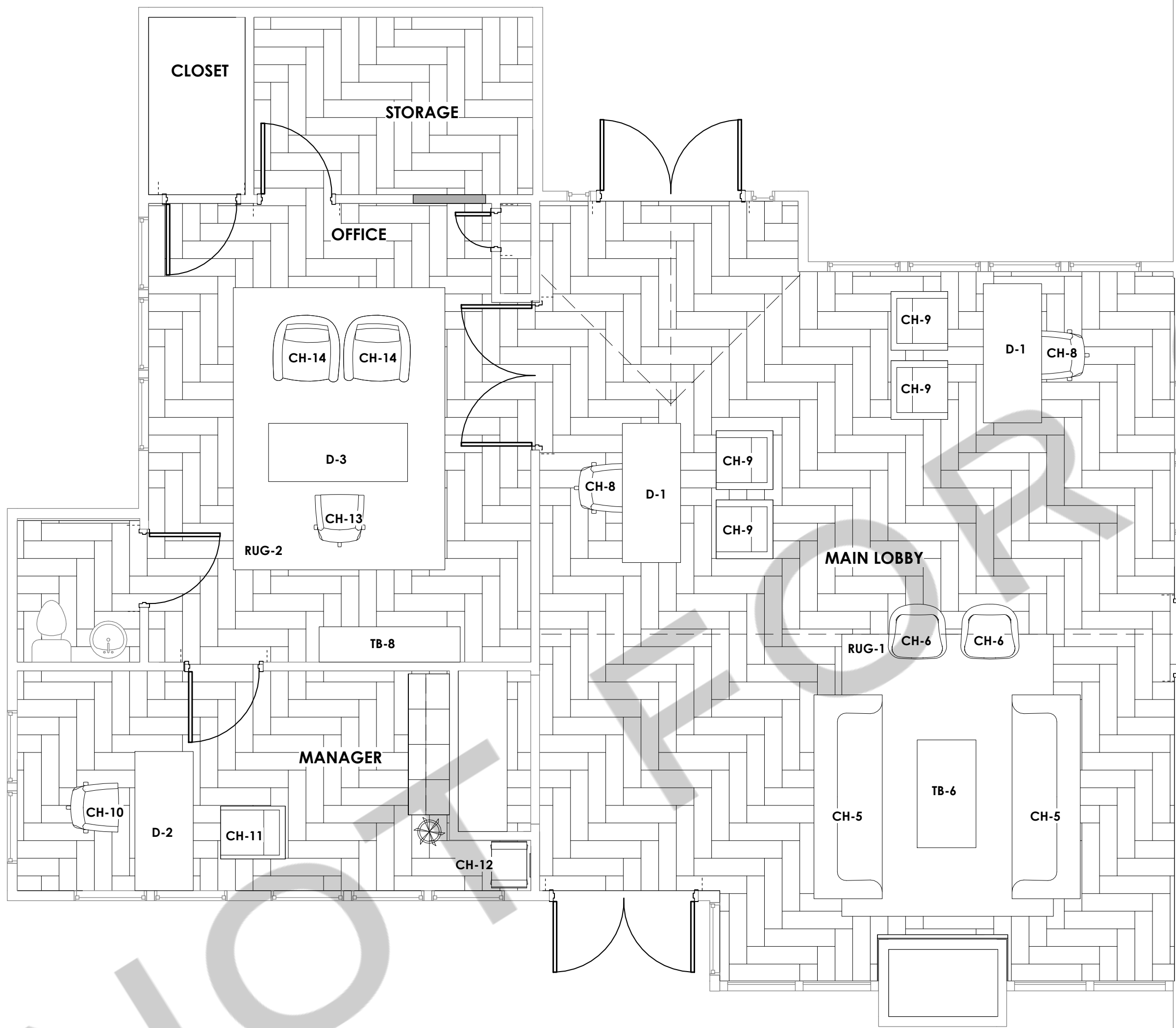
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DATE ISSUED 06/29/2021
DRAWING SCALE 1/4" = 1'-0"

DRAWING TITLE
GROUND FLOOR
FURNITURE PLAN

REVISIONS:
NUMBER DATE DESCRIPTION
1 08/03/2021 REVISION 1

CONSTRUCTION DOCUMENTS
ID200



FURNITURE SCHEDULE



CH-1: GAME ROOM
BAR STOOL AND
CONFERENCE CHAIR



TB-1: GAME ROOM
CONFERENCE TABLE



CH-3: NOT IN USE



CH-3: GAME ROOM
LOUNGE CHAIR



TB-2: GAME ROOM
COFFEE TABLE



CH-4: GAME ROOM
SOFA



TB-3: GAME ROOM SIDE
TABLE



TB-4: GAME ROOM
CREDENZA



CH-5: MAIN LOBBY
SOFA



CH-6: MAIN LOBBY
CHAIR



TB-4: MAIN LOBBY
COFFEE TABLE



RUG-1: MAIN LOBBY
RUG



TB-7: NOT IN USE



CH-7: NOT IN USE



D-1: MAIN LOBBY DESK



CH-8: MAIN LOBBY TASK
CHAIR



CH-9: MAIN LOBBY
GUEST CHAIR



D-2: MANAGER'S DESK



CH-10: MANAGER'S
TASK CHAIR



CH-11: MANAGER'S GUEST
CHAIR



CH-12: MANAGER'S STOOL



D-3: OFFICE DESK



CH-13: OFFICE TASK
CHAIR



CH-14: OFFICE GUEST
CHAIR



TB-8: OFFICE CREDENZA



RUG-2: OFFICE RUG



TB-9: BUSINESS CENTER
TABLE



TB-10: BUSINESS CENTER
CREDENZA



CH-15: BUSINESS
CENTER CHAIR



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DRAWING TITLE
FIRST FLOOR FURNITURE
PLAN

REVISIONS:
NUMBER DATE DESCRIPTION

FLOOR PLAN LEGEND + GENERAL NOTES

- GENERAL NOTES:**
- 1- ALL NEW WALLS TO BE 3-1/2" WOOD STUD WITH 5/8" GYP BOARD BOTH SIDES UNLESS THEY ARE PLUMBING WALLS WHICH RECEIVE 5-1/2" WOOD STUDS WITH SAME GYP.
 - 2- ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE APPLICABLE CODE INDICATED IN THE BUILDING SUMMARY COLUMN AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
 - 3- ALL NEW CONSTRUCTION SHALL COMPLY W/THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND CHAPTER 11 OF THE INTERNATIONAL BUILDING CODE (INCLUDES ICC A117.1 PER IBC)
 - 4- ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
 - 5- CONTRACTOR SHALL FURNISH AND INSTALL CONCEALED FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL CABINETS, TOILET ACCESSORIES, PLUMBING FIXTURES, AND OTHER WALL MOUNTED ITEMS AS REQUIRED FOR ADEQUATE SUPPORT.
 - 6- CONTRACTOR SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.
 - 7- CONTRACTOR SHALL COORDINATE FINAL QUANTITY AND LOCATIONS OF FIRE EXTINGUISHERS WITH THE FIRE DEPARTMENT AND/OR BUILDING DEPARTMENT.
 - 8- CONTRACTOR TO WORK WITH DESIGN/BUILD MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACTORS TO ACHIEVE DESIGN INTENT IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS.
 - 9- REPLACE ALL DIFFUSERS AND GRILLES, TO BE WHITE WITH SQUARE BASE, TOTAL COUNT: ~26
- DIMENSION STRINGS:** DIMENSION FROM FACE OF FINISH TO FACE OF FINISH UNLESS NOTED OTHERWISE.

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION

ALTERNATE:

- 1- GROUND FLOOR KITCHEN, FIRST FLOOR COFFEE NICHE, AND FIRST FLOOR BAR IN MAIN LOBBY; BASE BID INCLUDES REPLACING CABINETS PER DRAWINGS. ALTERNATE INCLUDES LEAVING CABINETS AS-IS, PAINTED WITH 1 PRIMER COAT AND 2 FINISH COATS ALONG WITH NEW DOOR AND DRAWER HARDWARE. HARDWARE IN ALTERNATE TO BE SAME AS NOTED IN DRAWINGS WHICH IS INCLUDED IN THE BASE BID.
- 2- STOREFRONT DOORS: BASE BID INCLUDES REPLACING THE EXISTING STOREFRONT DOORS BY NEW ONES. ALTERNATE INCLUDE PAINTING THE EXISTING STOREFRONT DOORS.



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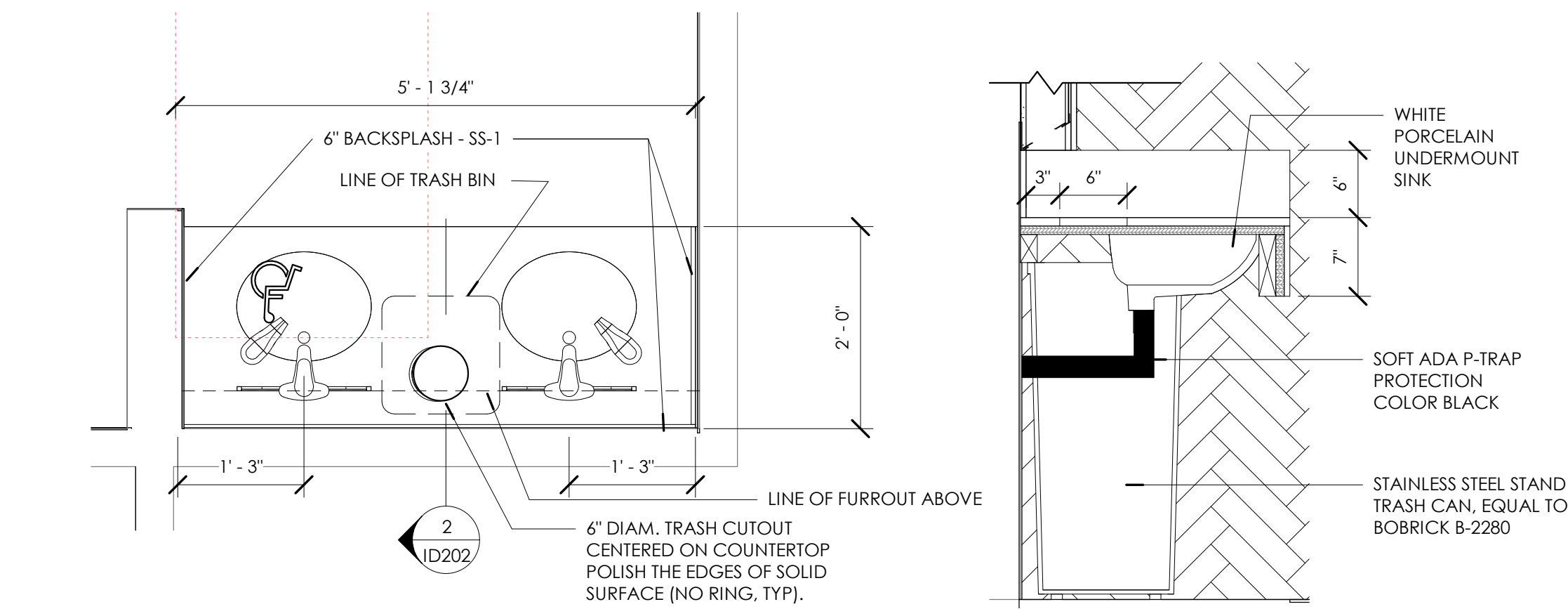
DRAWING TITLE
**GROUND FLOOR
CONSTRUCTION PLAN**

REVISIONS:

NUMBER	DATE	DESCRIPTION
1	08/03/2021	REVISION 1

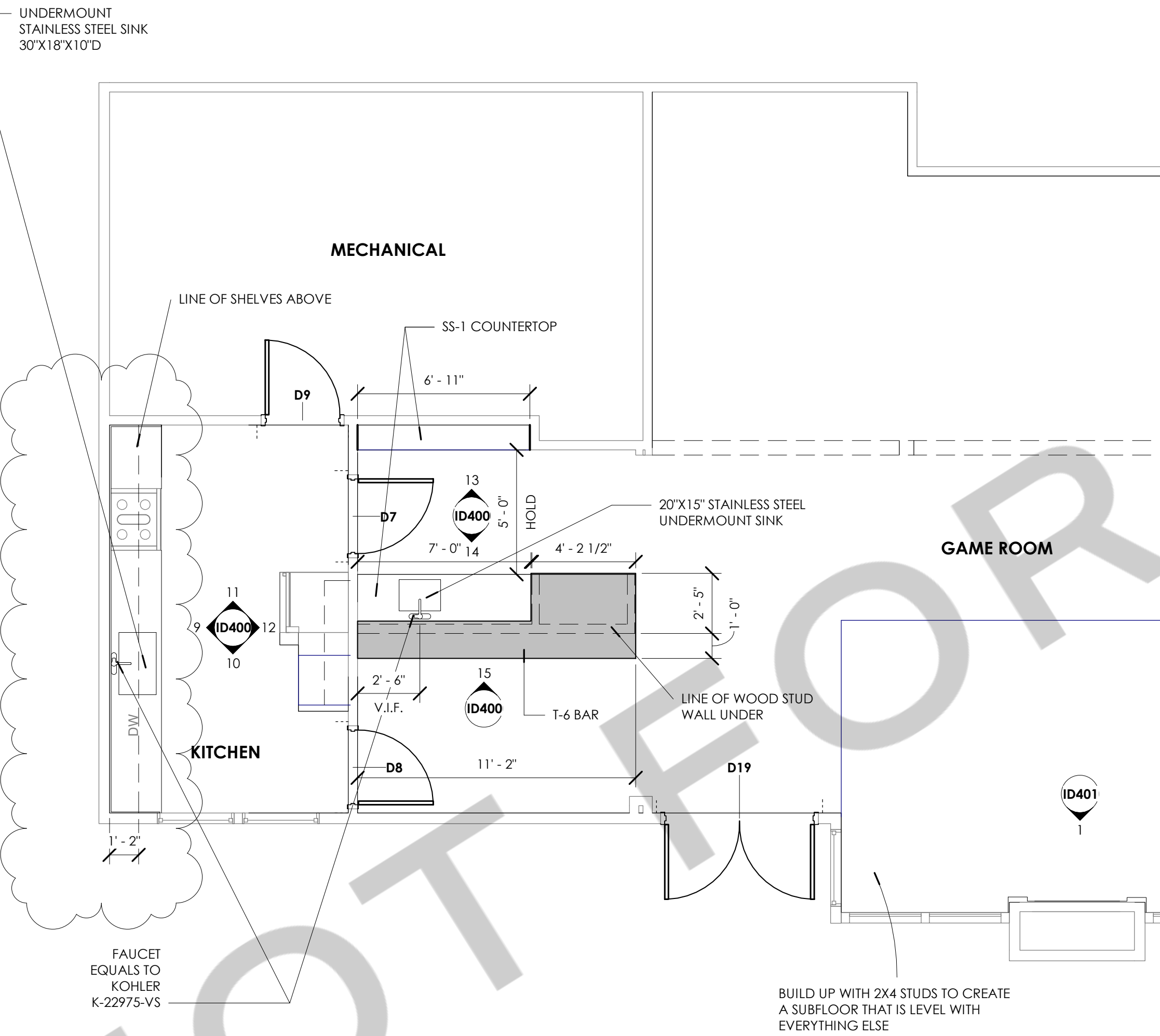
CONSTRUCTION DOCUMENTS

ID202



1 TYP. RESTROOM SINK ENLARGED PLAN
3/4" = 1'-0"

2 RESTROOM SINK DETAIL
1" = 1'-0"



3 GROUND LEVEL
1/4" = 1'-0"

FLOOR PLAN LEGEND + GENERAL NOTES

GENERAL NOTES:

- 1- ALL NEW WALLS TO BE 3-1/2" WOOD STUD WITH 5/8" GYP BOARD BOTH SIDES UNLESS THEY ARE PLUMBING WALLS WHICH RECEIVE 5-1/2" WOOD STUDS WITH SAME GYP.
- 2- ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE APPLICABLE CODE INDICATED IN THE BUILDING SUMMARY COLUMN AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
- 3- ALL NEW CONSTRUCTION SHALL COMPLY W/THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND CHAPTER 11 OF THE INTERNATIONAL BUILDING CODE (INCLUDES ICC A117.1 PER IRC)
- 4- ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- 5- CONTRACTOR SHALL FURNISH AND INSTALL CONCEALED FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL CABINETS, TOILET ACCESSORIES, PLUMBING FIXTURES, AND OTHER WALL MOUNTED ITEMS AS REQUIRED FOR ADEQUATE SUPPORT.
- 6- CONTRACTOR SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.
- 7- CONTRACTOR SHALL COORDINATE FINAL QUANTITY AND LOCATIONS OF FIRE EXTINGUISHERS WITH THE FIRE DEPARTMENT AND/OR BUILDING DEPARTMENT.
- 8- CONTRACTOR TO WORK WITH DESIGN/BUILD MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACTORS TO ACHIEVE DESIGN INTENT IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS.
- 9- REPLACE ALL DIFFUSERS AND GRILLES, TO BE WHITE WITH SQUARE BASE, TOTAL COUNT: ~26
- DIMENSION STRINGS:** DIMENSION FROM FACE OF FINISH TO FACE OF FINISH UNLESS NOTED OTHERWISE.

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION

ALTERNATE:

- 1- GROUND FLOOR KITCHEN, FIRST FLOOR COFFEE NICHE, AND FIRST FLOOR BAR IN MAIN LOBBY: BASE BID INCLUDES REPLACING CABINETS PER DRAWINGS. ALTERNATE INCLUDES LEAVING CABINETS AS-IS, PAINTED WITH 1 PRIMER COAT AND 2 FINISH COATS ALONG WITH NEW DOOR AND DRAWER HARDWARE. HARDWARE IN ALTERNATE TO BE SAME AS NOTED IN DRAWINGS WHICH IS INCLUDED IN THE BASE BID.
- 2- STOREFRONT DOORS: BASE BID INCLUDES REPLACING THE EXISTING STOREFRONT DOORS BY NEW ONES. ALTERNATE INCLUDE PAINTING THE EXISTING STOREFRONT DOORS.



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CLIENT
CLUB HOUSE APARTMENTS

PROJECT LOCATION
NASHVILLE, TN

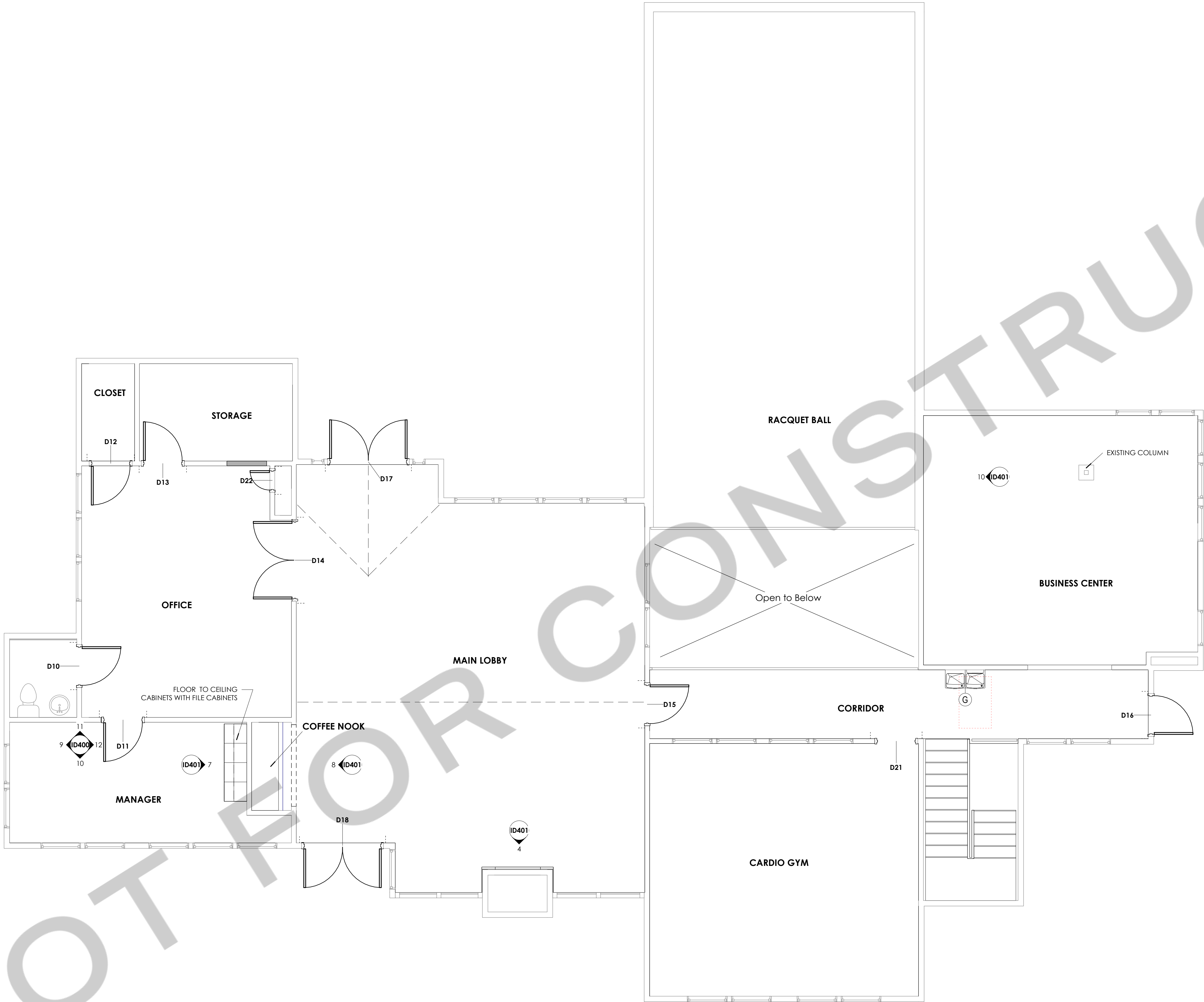
PROJECT NAME
CLUB HOUSE

DATE ISSUED 06/29/2021
DRAWING SCALE 1/4" = 1'-0"

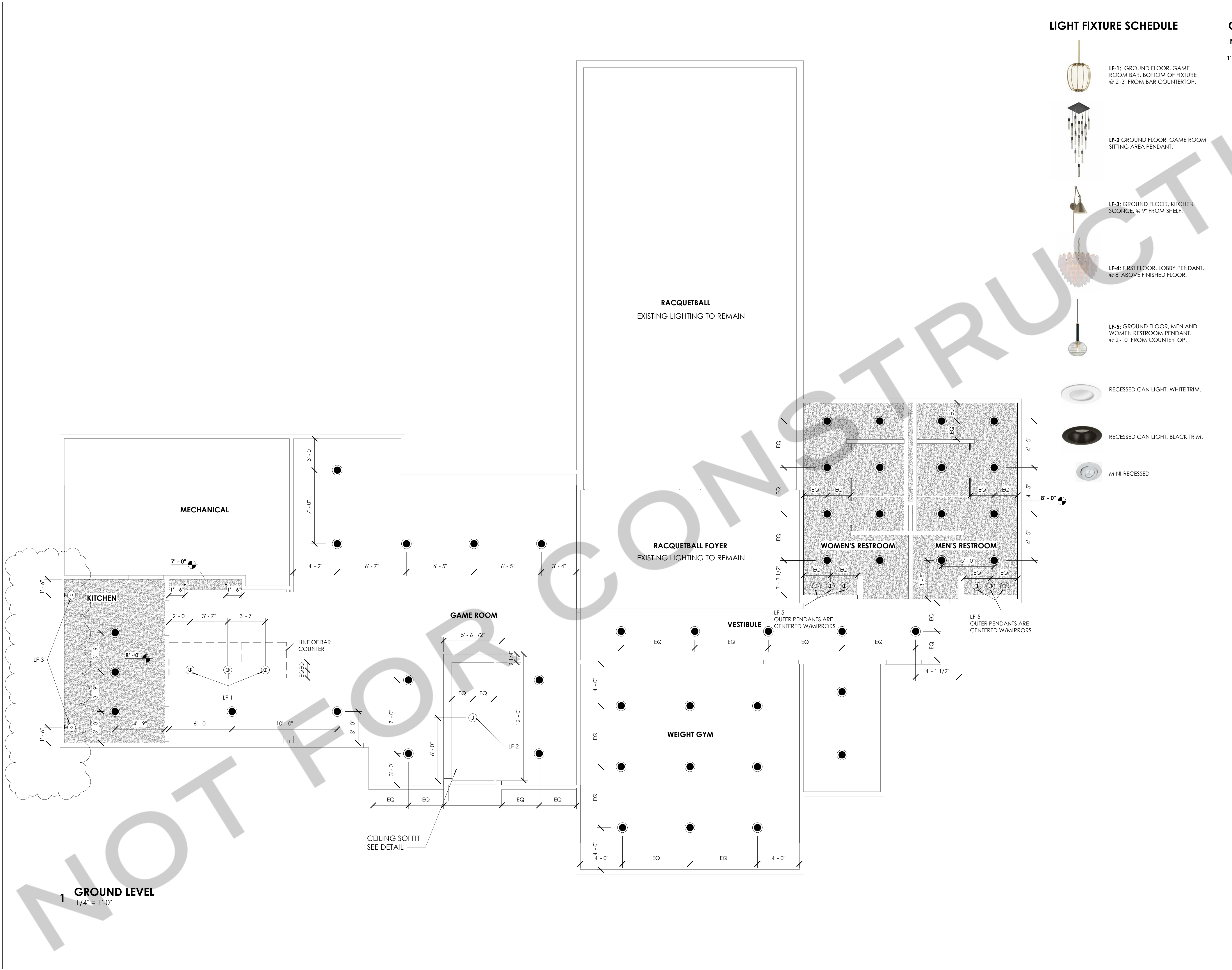
DRAWING TITLE
**FIRST FLOOR
CONSTRUCTION PLAN**

REVISIONS:
NUMBER DATE DESCRIPTION

CONSTRUCTION DOCUMENTS
ID203



1 FIRST FLOOR
1/4" = 1'-0"



LIGHT FIXTURE SCHEDULE



CEILING LEGEND

- | NAME | ROOM NAME |
|---|--|
| 1'-0" | CEILING HEIGHT |
| RECESSED CAN LIGHT (DIAM = 4" @ NEW CEILING/ DIAM. TO MATCH EXISTING FIXTURE & LOCATION @ EXISTING CEILING) | |
| | 4" DIAM. WATERPROOF RECESSED CAN LIGHT 3,000K, MIN 95 CRI, WHITE FINISH, SQUARE PROFILE. |
| | 2" DIAM. RECESSED CAN LIGHT MINI ADJUSTABLE RECESSED CAN LIGHT, WHITE FINISH |
| | EXISTING CEILING TO REMAIN |
| | NEW GYPSUM BOARD CEILING |
| | JUNCTION BOX |
| | SCONCE SEE ELEVATION FOR INSTALLATION HEIGHTS |

CEILING PLAN GENERAL NOTES

1- VENT GRILLS, DIFFUSERS, ETC. TO BE REPLACED BY NEW - WHITE FINISH.



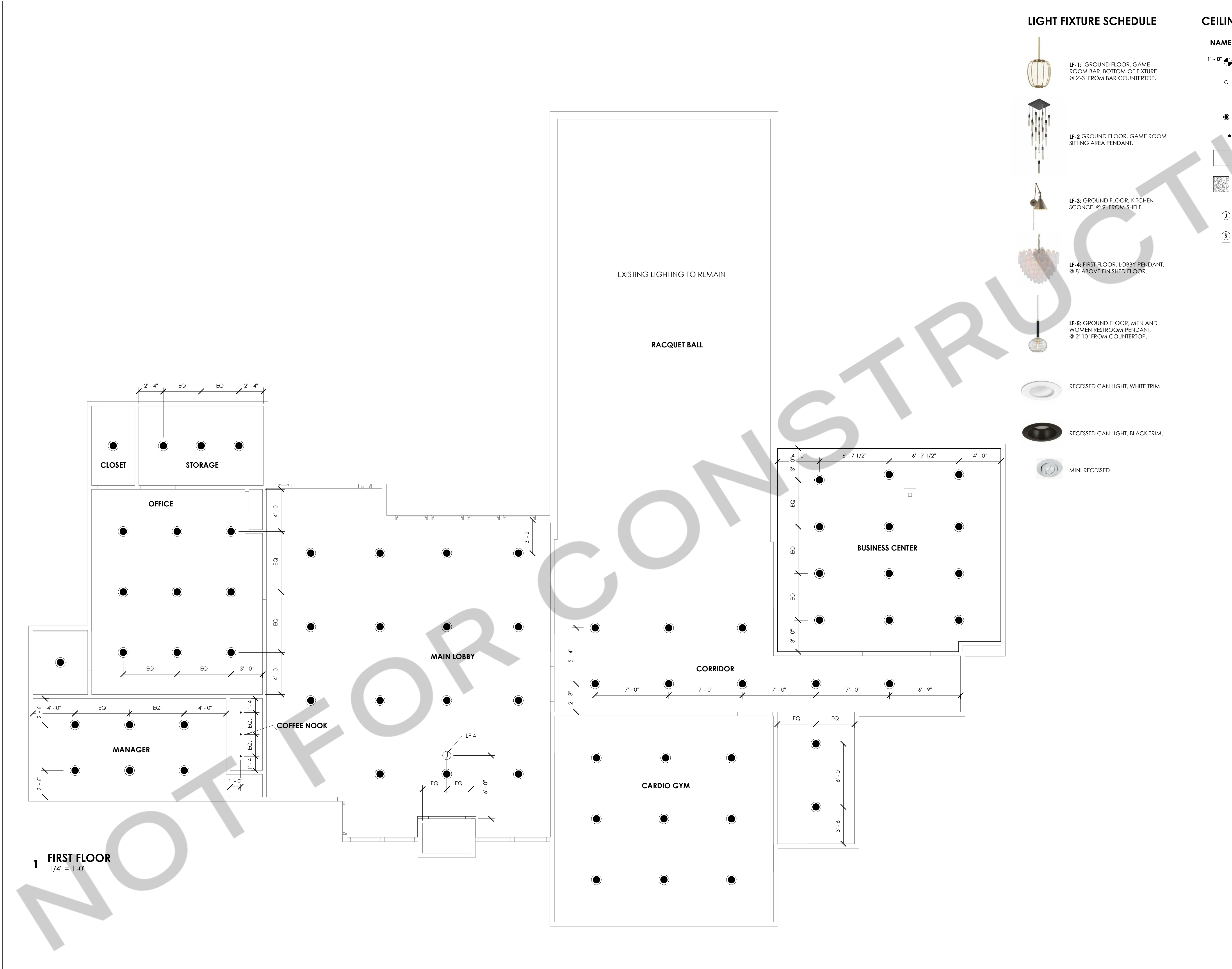
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NASHVILLE, TN
PROJECT NAME
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1/4" = 1'-0"


DRAWING TITLE
GROUND FLOOR CEILING PLAN


REVISIONS:	NUMBER	DATE	DESCRIPTION
	1	08/03/2021	REVISION 1





LIGHT FIXTURE SCHEDULE


- 


LF-1: GROUND FLOOR, GAME ROOM BAR. BOTTOM OF FIXTURE @ 2'-3" FROM BAR COUNTERTOP.
- 


LF-2 GROUND FLOOR, GAME ROOM SITTING AREA PENDANT.
- 

LF-3: GROUND FLOOR, KITCHEN SCONCE. @ 9" FROM SHELF.
- 

LF-4: FIRST FLOOR, LOBBY PENDANT. @ 8' ABOVE FINISHED FLOOR.
- 

LF-5: GROUND FLOOR, MEN AND WOMEN RESTROOM PENDANT. @ 2'-10" FROM COUNTERTOP.
- 

RECESSED CAN LIGHT, WHITE TRIM.
- 

RECESSED CAN LIGHT, BLACK TRIM.
- 

MINI RECESSED

CEILING LEGEND

- | NAME | ROOM NAME |
|-------|---|
| 1'-0" | CEILING HEIGHT |
| ○ | RECESSED CAN LIGHT (DIAM = 4" @ NEW CEILING / DIAM. TO MATCH EXISTING FIXTURE & LOCATION @ EXISTING CEILING)
3,000K, MIN 95 CRI, WHITE FINISH, SQUARE PROFILE. |
| ● | 4" DIAM. WATERPROOF RECESSED CAN LIGHT
3,000K, MIN 95 CRI, BLACK FINISH. |
| • | 2" DIAM. RECESSED CAN LIGHT
MINI ADJUSTABLE RECESSED CAN LIGHT, WHITE FINISH |
| □ | EXISTING CEILING TO REMAIN |
| ▨ | NEW GYPSUM BOARD CEILING |
| J | JUNCTION BOX |
| S | SCONCE SEE ELEVATION FOR INSTALLATION HEIGHTS |

CEILING PLAN GENERAL NOTES

1- VENT GRILLS, DIFFUSERS, ETC. TO BE REPLACED BY NEW - WHITE FINISH.



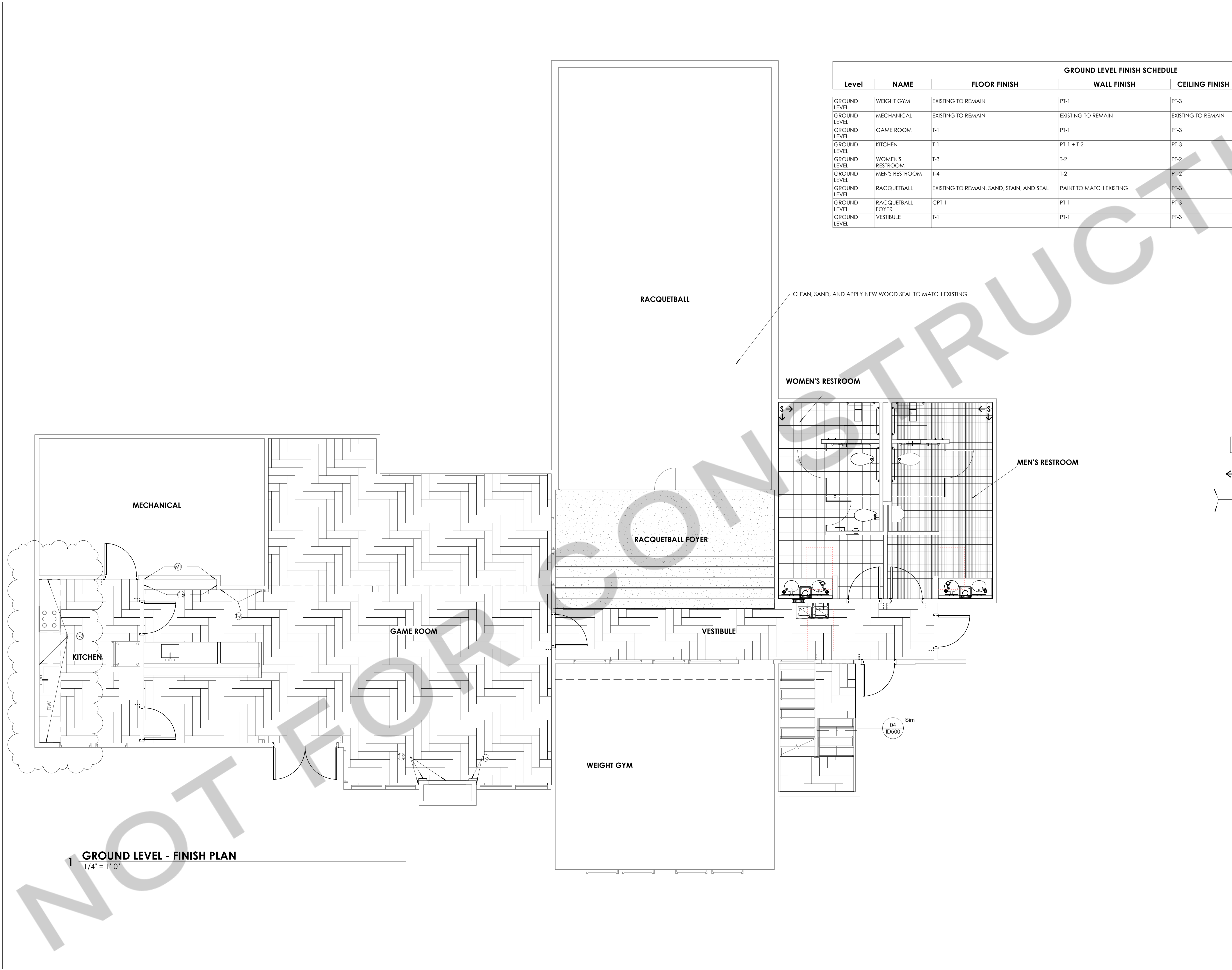
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PROJECT NAME
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DATE ISSUED 06/29/2021
DRAWING SCALE 1/4" = 1'-0"



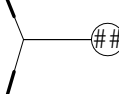
DRAWING TITLE
FIRST FLOOR CEILING PLAN

REVISIONS:
NUMBER DATE DESCRIPTION



GROUND LEVEL FINISH SCHEDULE						
Level	NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	WALL BASE	COMMENTS
GROUND LEVEL	WEIGHT GYM	EXISTING TO REMAIN	PT-1	PT-3	PT-1	
GROUND LEVEL	MECHANICAL	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	N/A	
GROUND LEVEL	GAME ROOM	T-1	PT-1	PT-3	PT-1 + T-6 + MI	
GROUND LEVEL	KITCHEN	T-1	PT-1 + T-2	PT-3	PT-1 + T-1	
GROUND LEVEL	WOMEN'S RESTROOM	T-3	T-2	PT-2	N/A	
GROUND LEVEL	MEN'S RESTROOM	T-4	T-2	PT-2	N/A	
GROUND LEVEL	RACQUETBALL	EXISTING TO REMAIN. SAND, STAIN, AND SEAL	PAINT TO MATCH EXISTING	PT-3	PT-1	
GROUND LEVEL	RACQUETBALL FOYER	CPT-1	PT-1	PT-3	PT-1	
GROUND LEVEL	VESTIBULE	T-1	PT-1	PT-3	PT-1	

FINISH PLAN GENERAL NOTES

-  EXISTING FLOOR TO REMAIN
-  INSTALLATION START AND DIRECTION
-  LEADERS SHOW EXTENTS OF WALL FINISH.
- * SEE ID500 FOR ADDITIONAL FINISH INFORMATION



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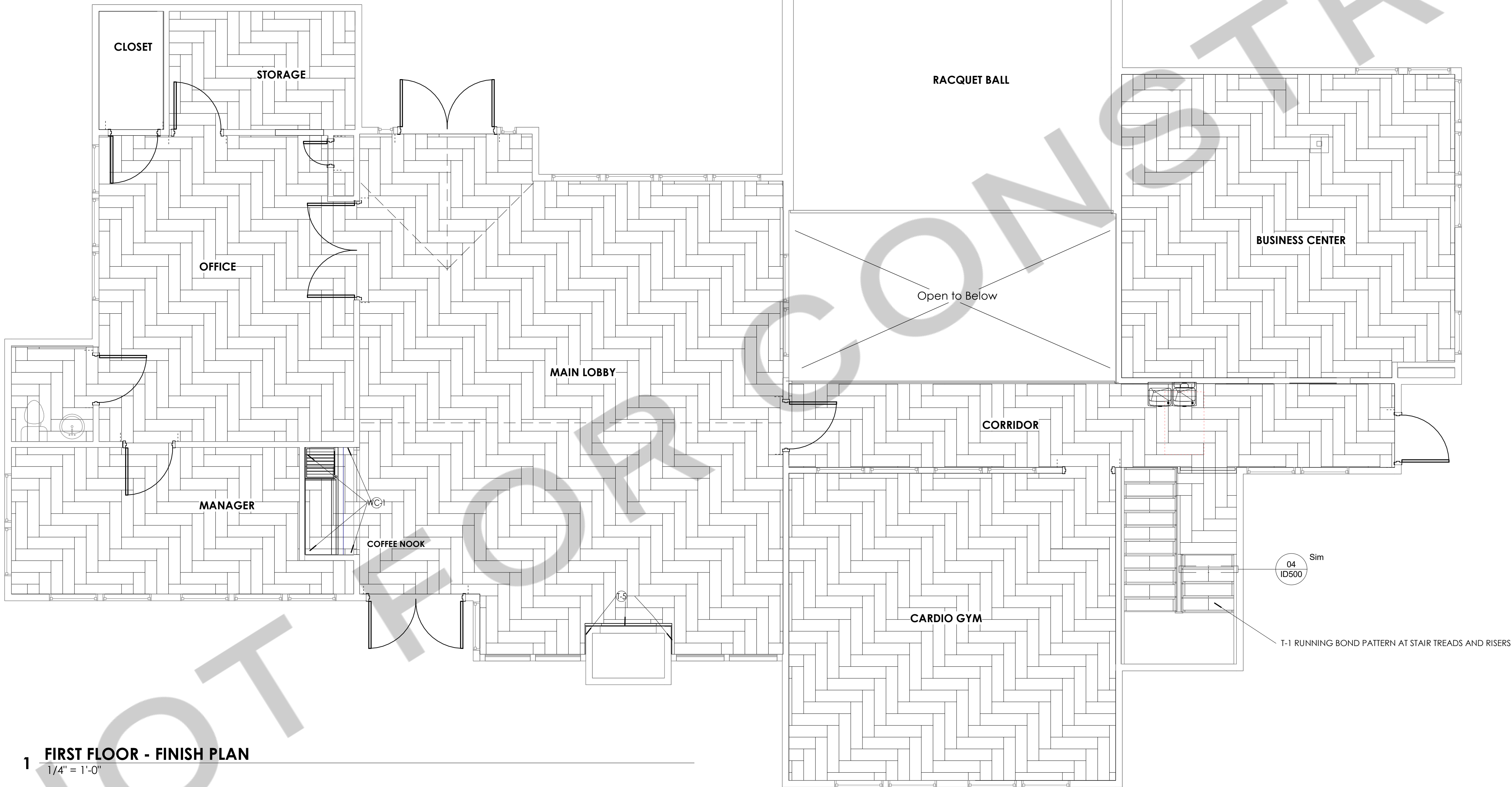
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DATE ISSUED 06/29/2021
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DRAWING TITLE
GROUND FLOOR FINISH
PLAN

REVISIONS:		
NUMBER	DATE	DESCRIPTION
1	08/03/2021	REVISION 1



FIRST FLOOR FINISH SCHEDULE						
Level	NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	Base Finish	COMMENTS
FIRST FLOOR	STORAGE	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	CLOSET	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	MAIN LOBBY	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	CARDIO GYM	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	BUSINESS CENTER	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	RACQUET BALL	EXISTING TO REMAIN. SAND, STAIN, AND SEAL	PT-1	PT-3	N/A	
FIRST FLOOR	MANAGER	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	OFFICE	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	CORRIDOR	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	COFFEE NOOK	T-1	WC-1	PT-3	PT-1	

FINISH PLAN GENERAL NOTES

- EXISTING FLOOR TO REMAIN
- INSTALLATION START AND DIRECTION
- LEADERS SHOW EXTENTS OF WALL FINISH.
- * SEE ID500 FOR ADDITIONAL FINISH INFORMATION



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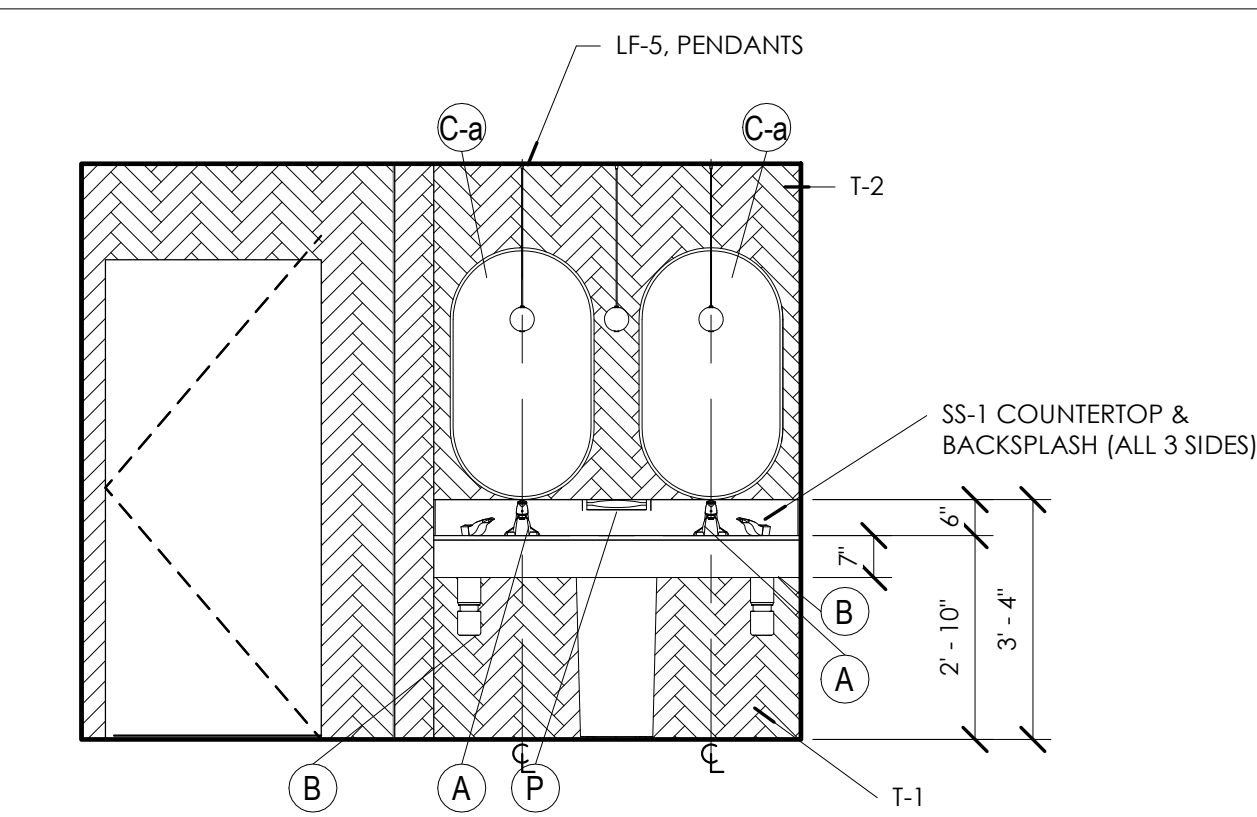
DATE ISSUED
DRAWING SCALE

06/29/2021
1/4" = 1'-0"

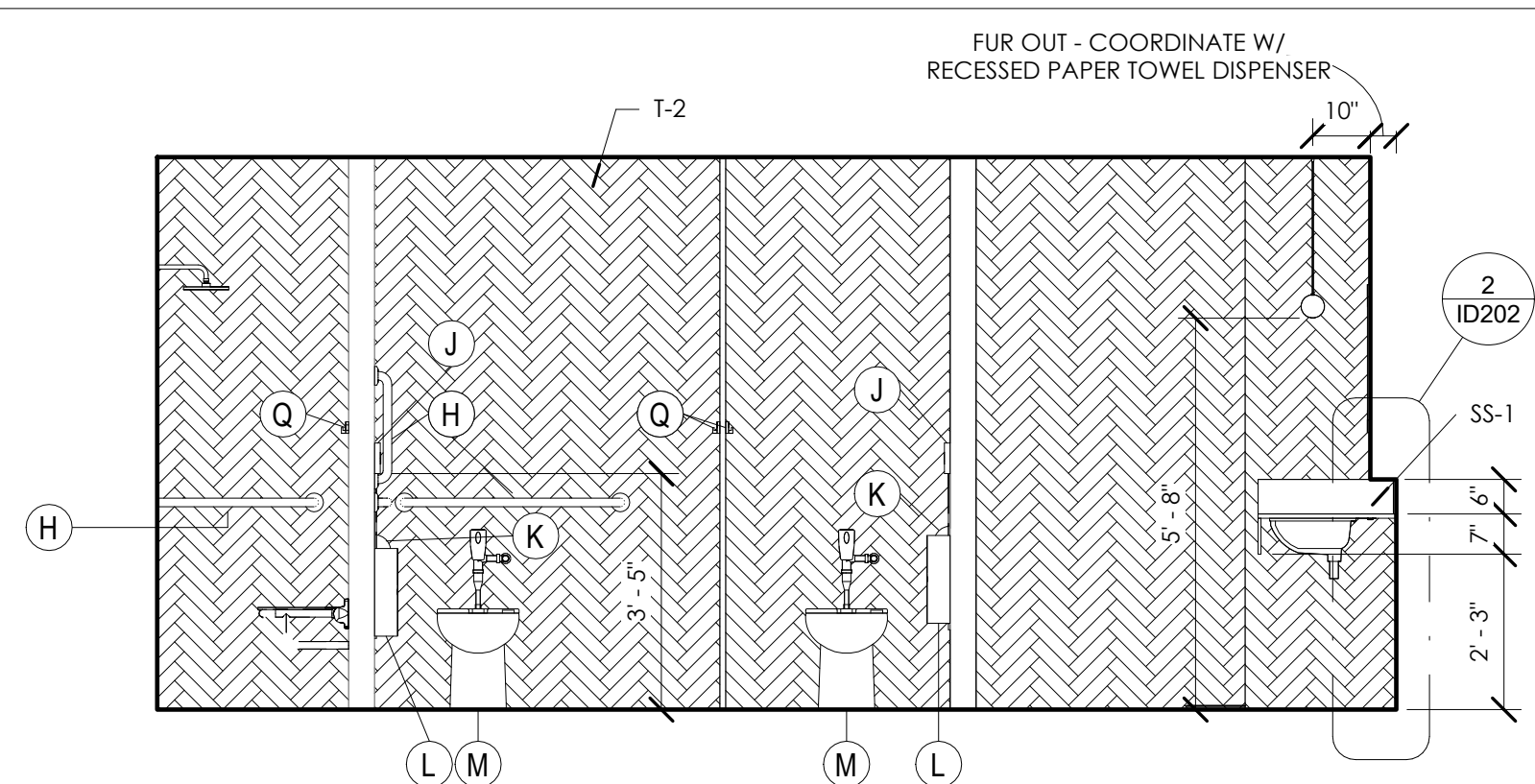
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FIRST FLOOR FINISH PLAN

REVISIONS:		
NUMBER	DATE	DESCRIPTION

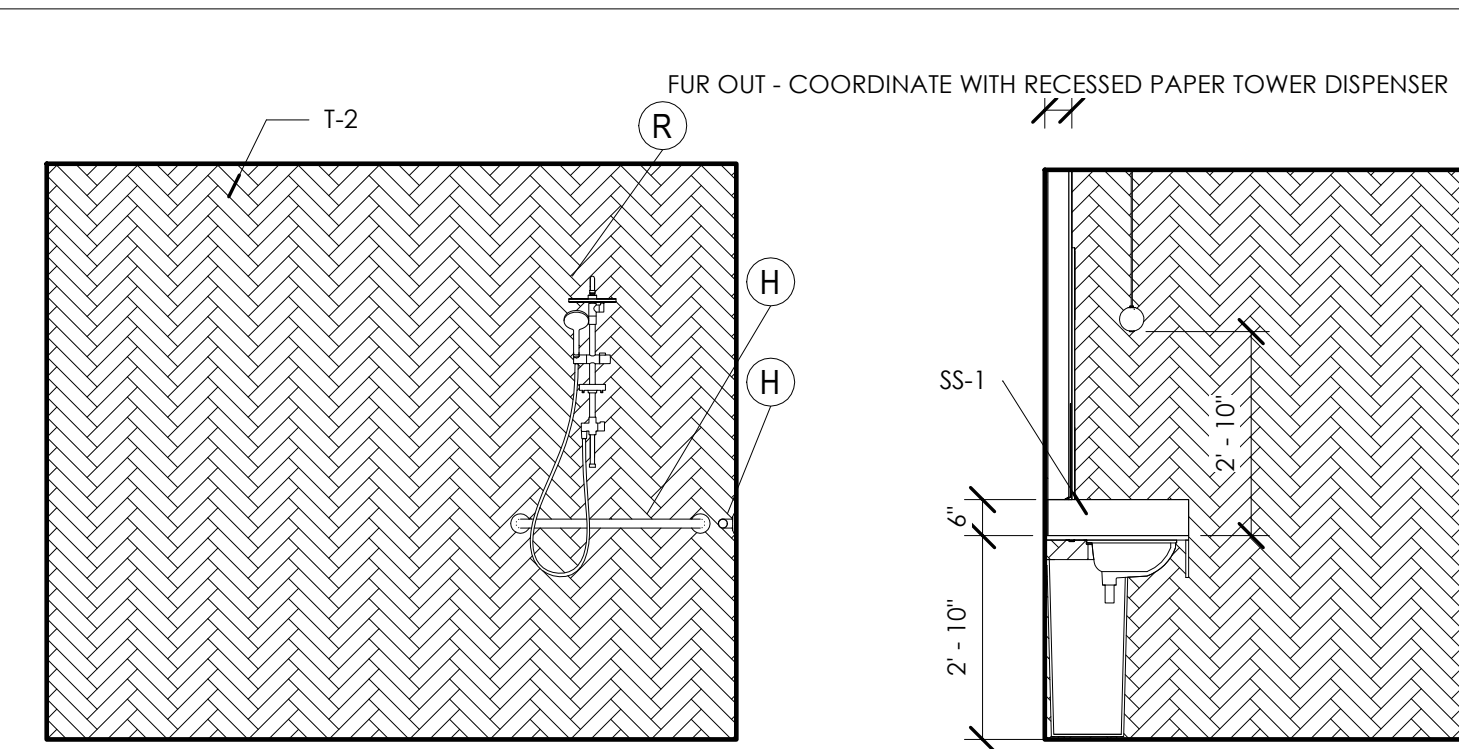
1 FIRST FLOOR - FINISH PLAN
1/4" = 1'-0"



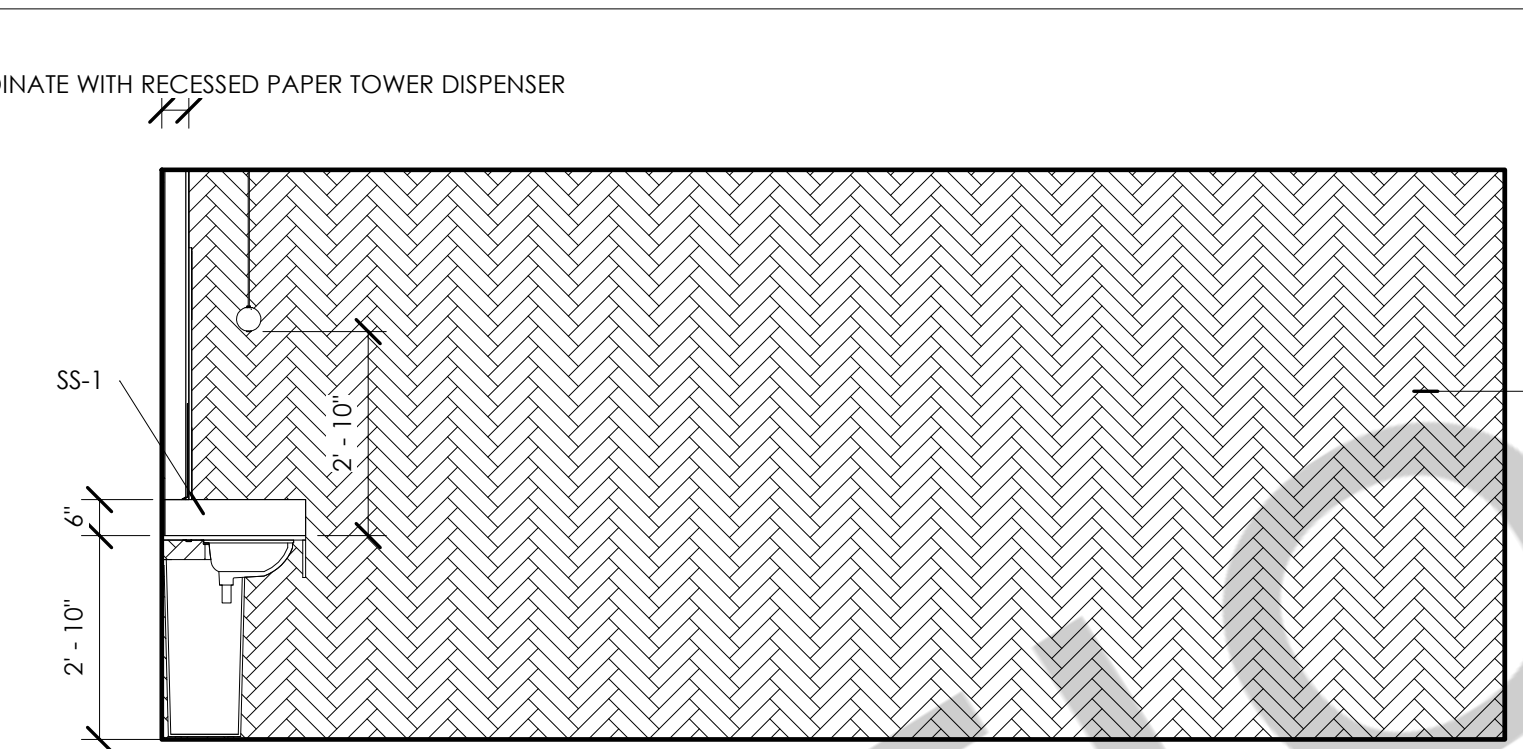
1 **WOMEN'S RESTROOM ELEVATION 1**
3/8" = 1'-0"



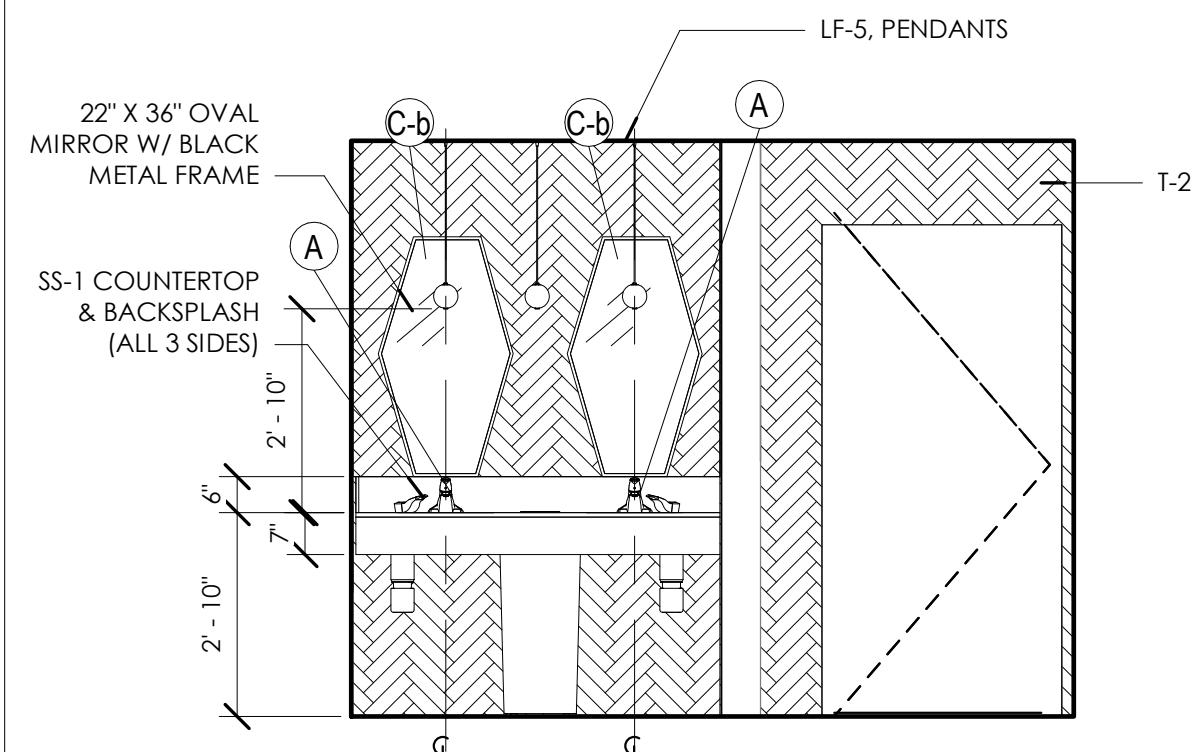
2 **WOMEN'S RESTROOM ELEVATION 2**
3/8" = 1'-0"



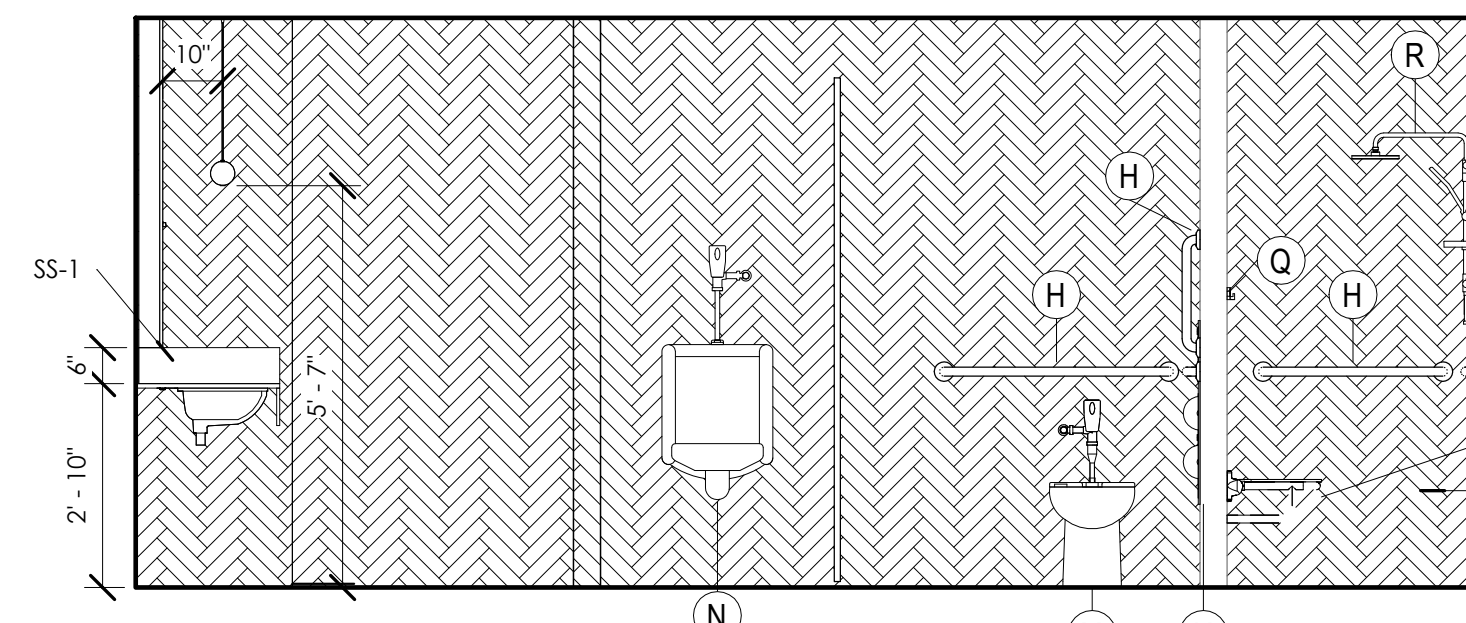
3 **WOMEN'S RESTROOM ELEVATION 3**
3/8" = 1'-0"



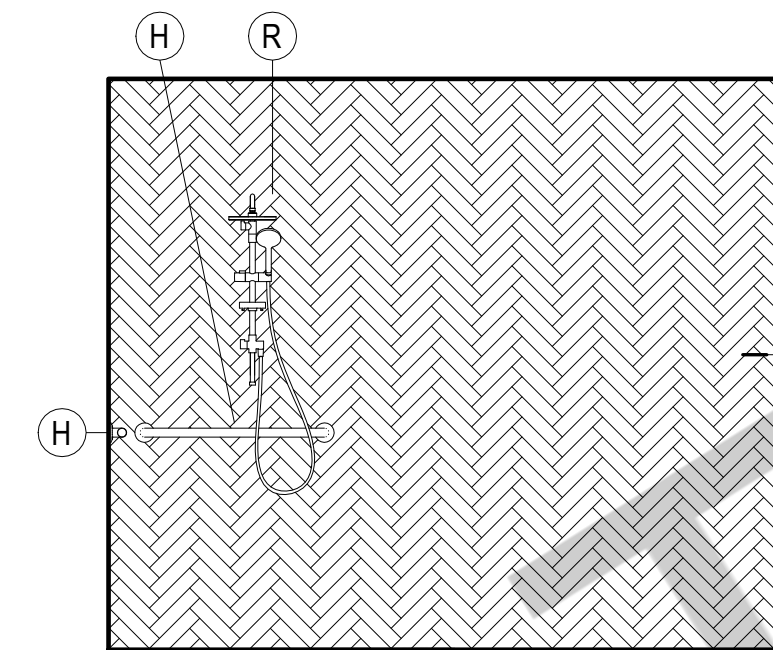
4 **WOMEN'S RESTROOM ELEVATION 4**
3/8" = 1'-0"



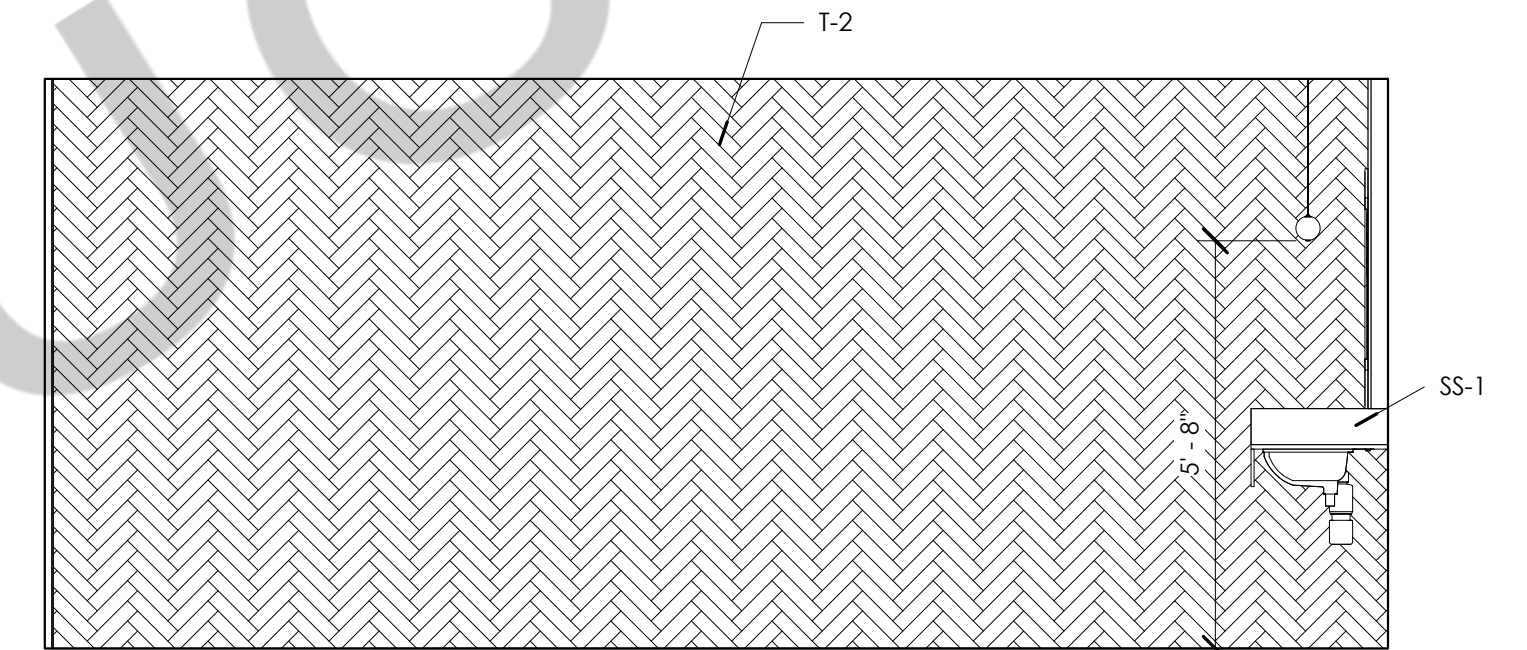
5 **MEN'S RESTROOM ELEVATION 1**
3/8" = 1'-0"



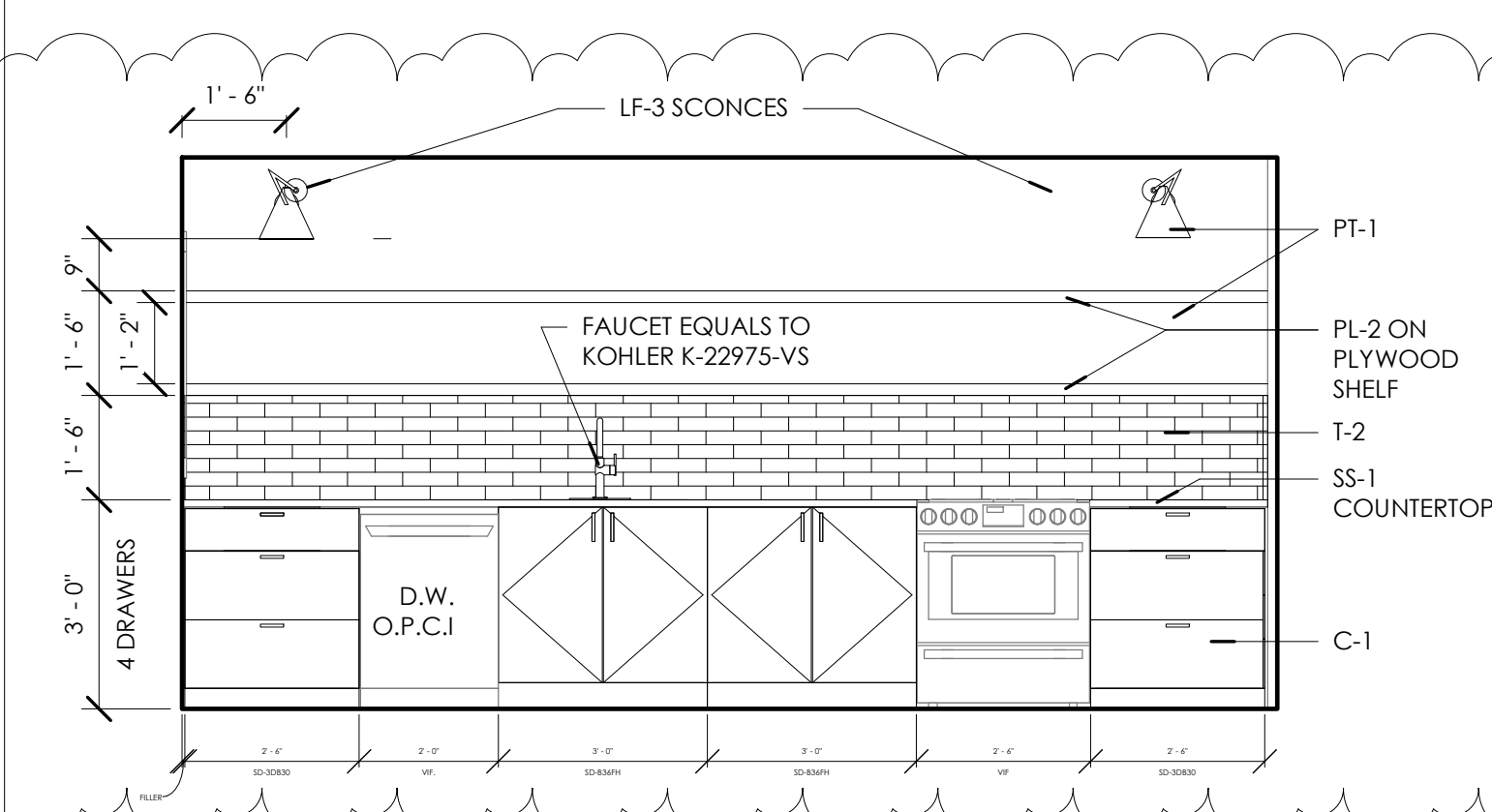
6 **MENS RESTROOM ELEVATION 2**
3/8" = 1'-0"



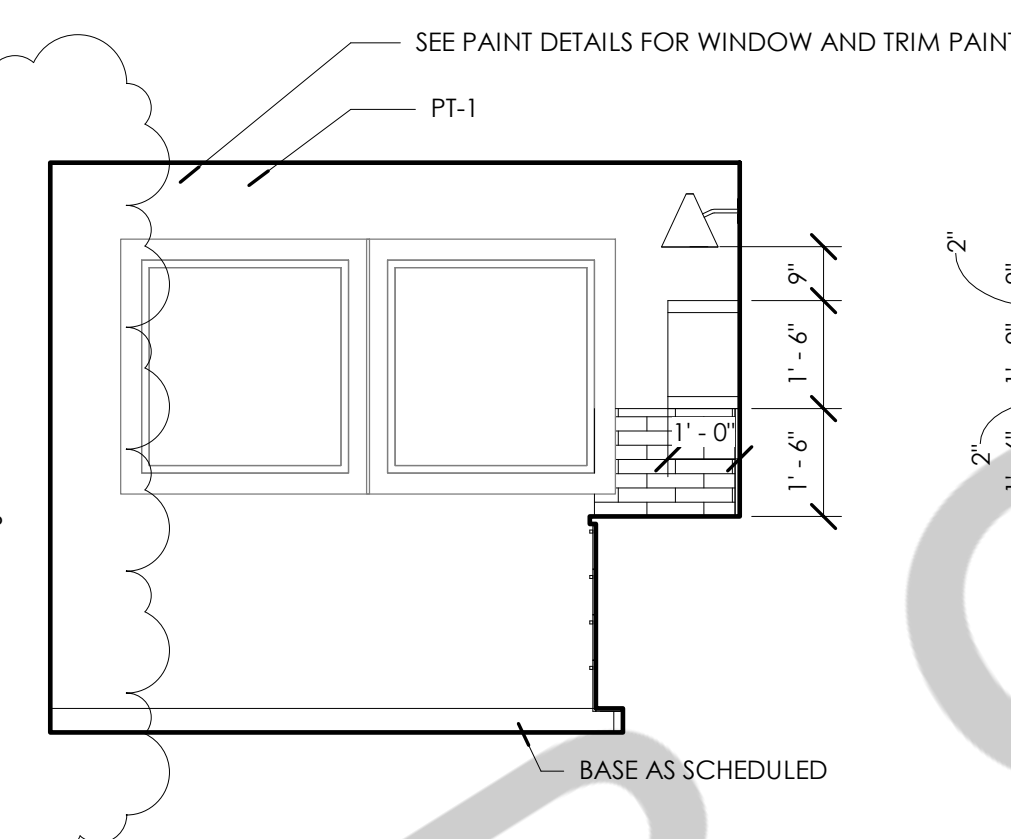
7 **MEN'S RESTROOM ELEVATION 3**
3/8" = 1'-0"



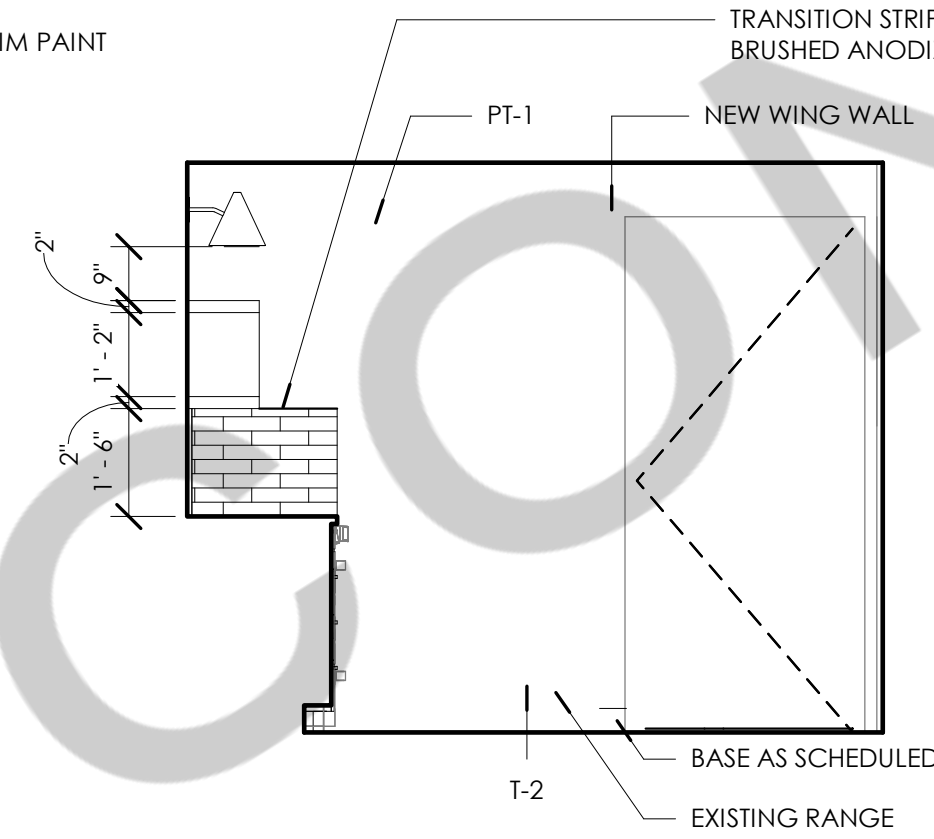
8 **MENS RESTROOM B**
3/8" = 1'-0"



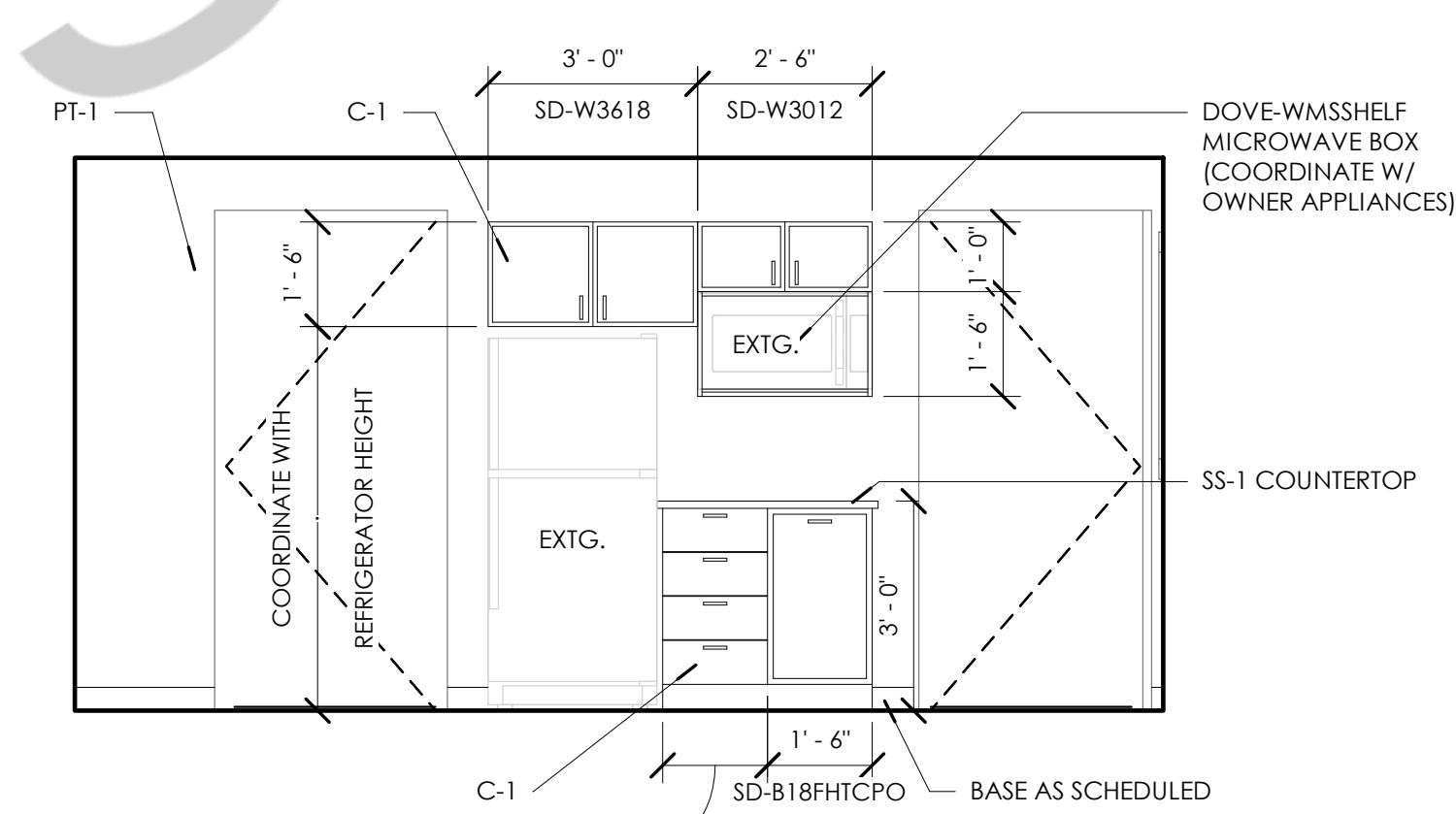
9 **KITCHEN A**
3/8" = 1'-0"



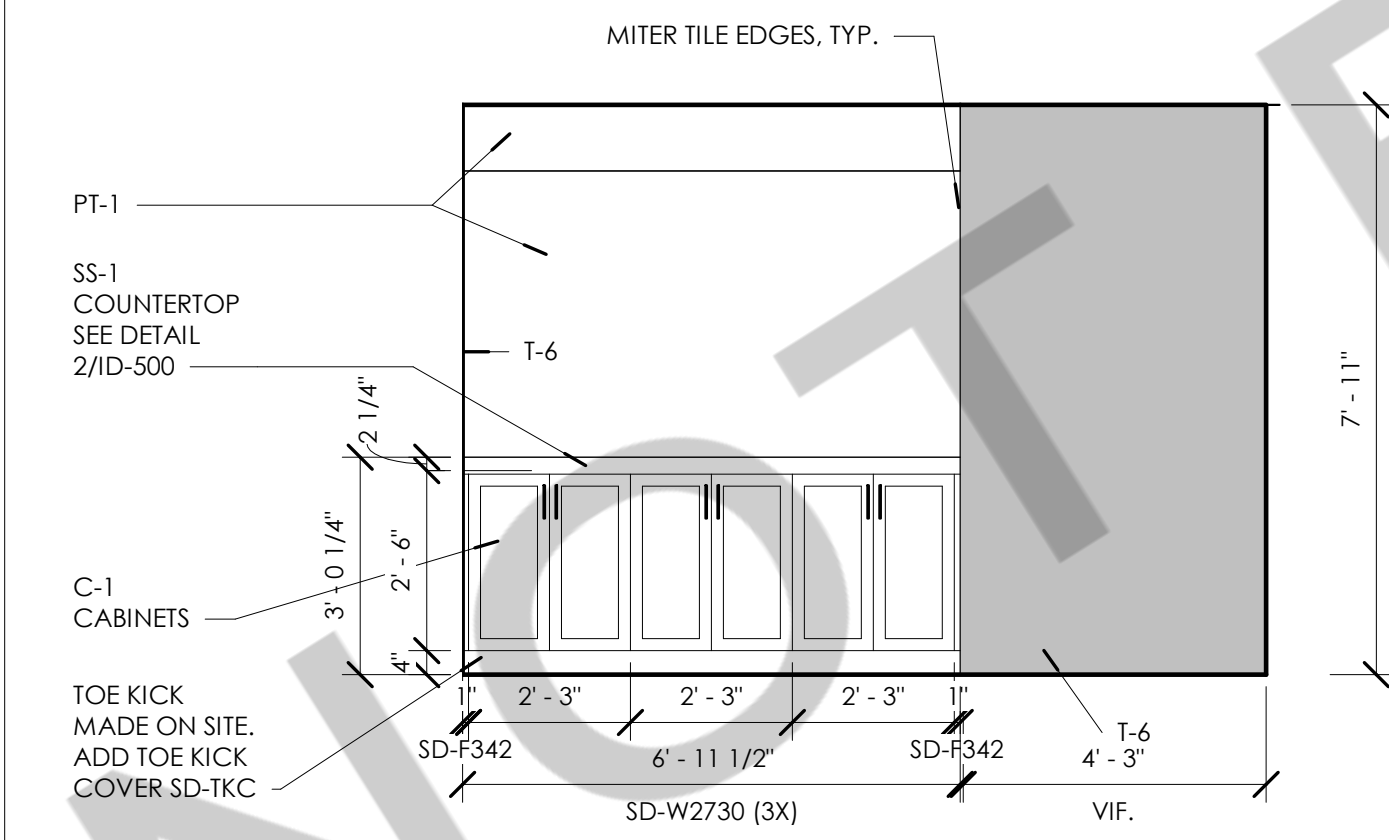
10 **KITCHEN B**
3/8" = 1'-0"



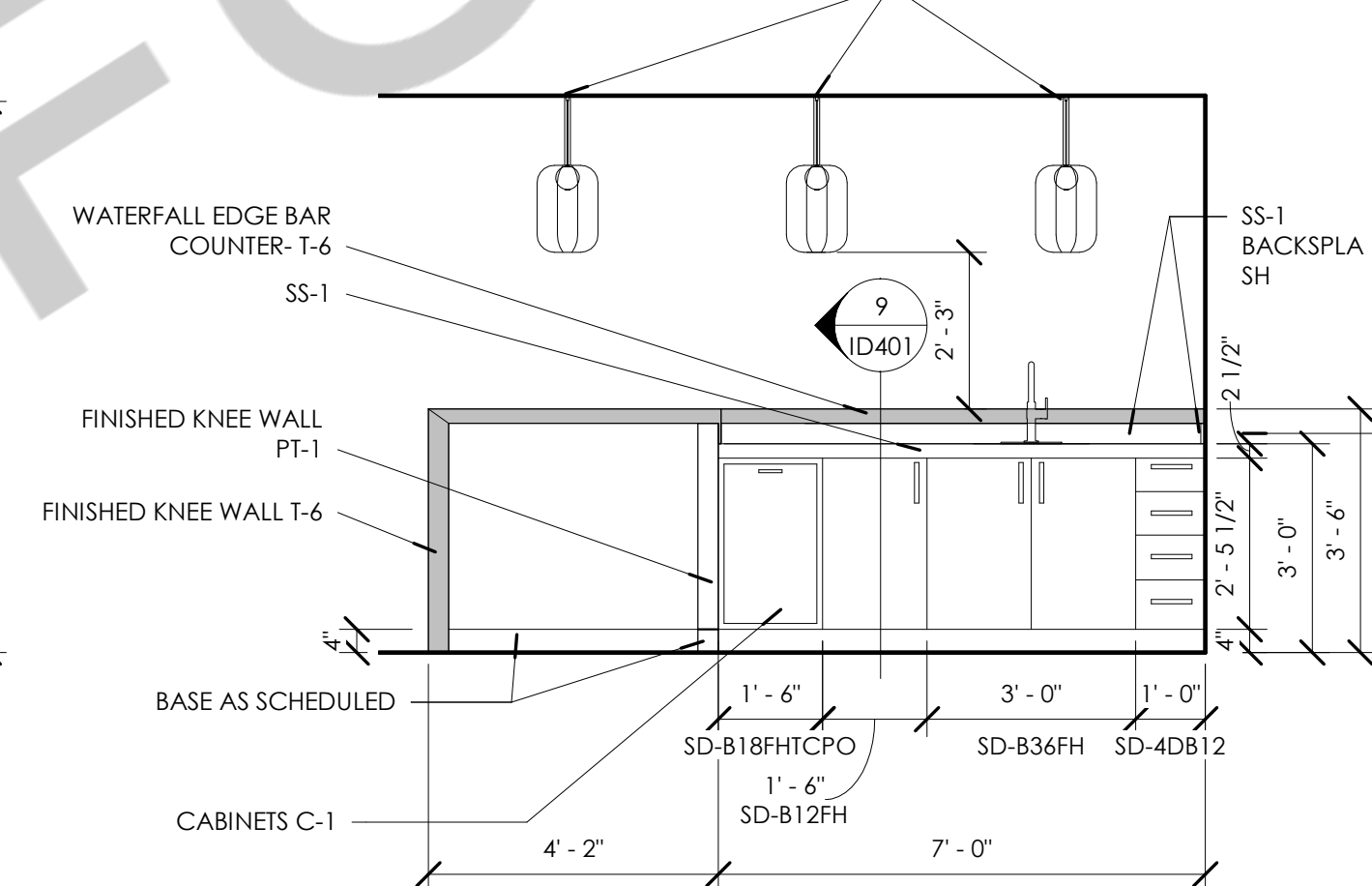
11 **KITCHEN C**
3/8" = 1'-0"



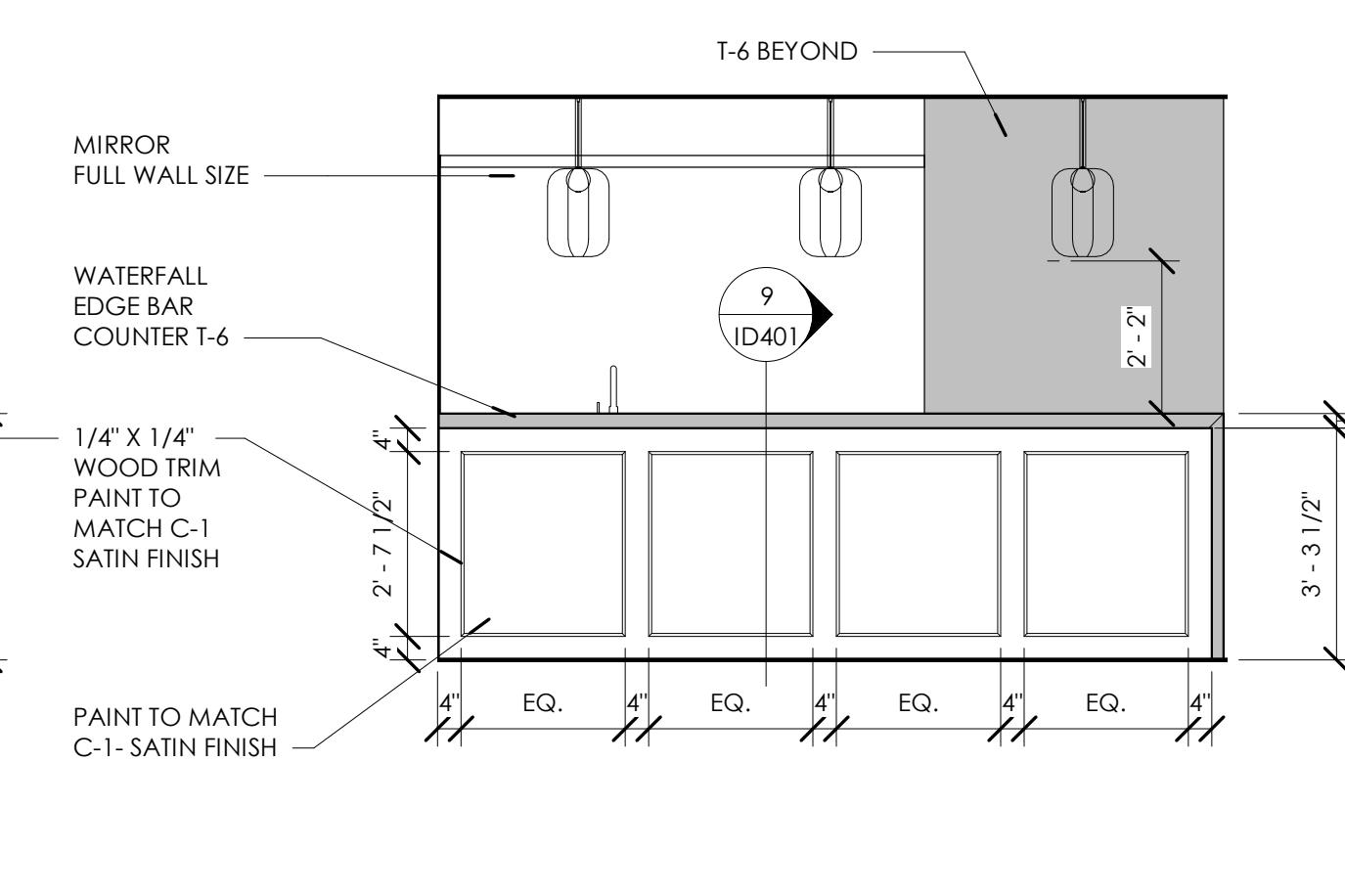
12 **KITCHEN D**
3/8" = 1'-0"



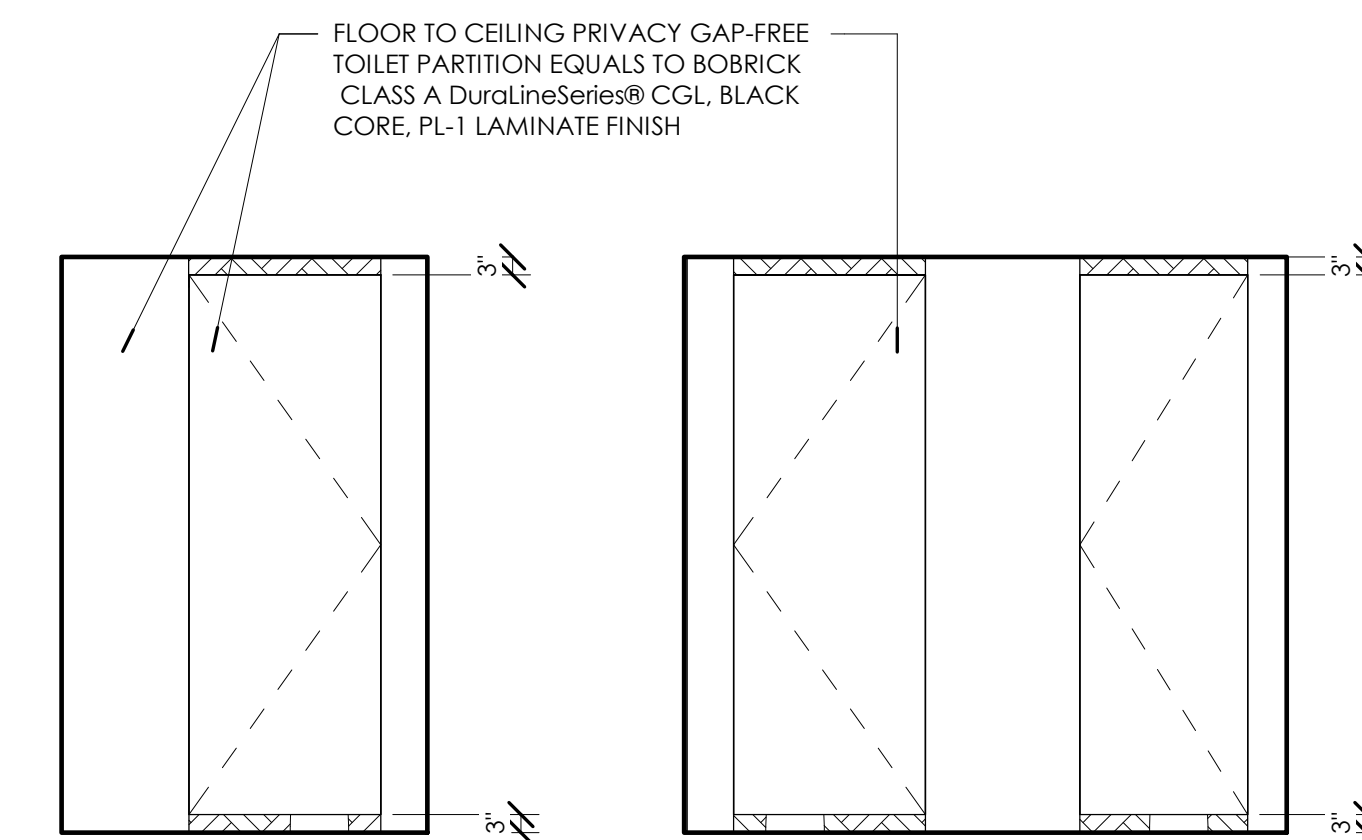
13 **BAR A**
3/8" = 1'-0"



14 **BAR B**
3/8" = 1'-0"



15 **BAR C**
3/8" = 1'-0"



17 **WOMEN'S TOILET PARTITION**
3/8" = 1'-0"

16 **MEN'S TOILET PARTITION**
3/8" = 1'-0"

ELEVATION GENERAL NOTES

- SEE ID100 FOR EQUIPMENT HEIGHTS.
- SEE ID500 FOR FINISH LEGEND AND SCHEDULES.



CLIENT
CLUB HOUSE APARTMENTS
PROJECT LOCATION
NASHVILLE, TN

PROJECT NAME
CLUB HOUSE

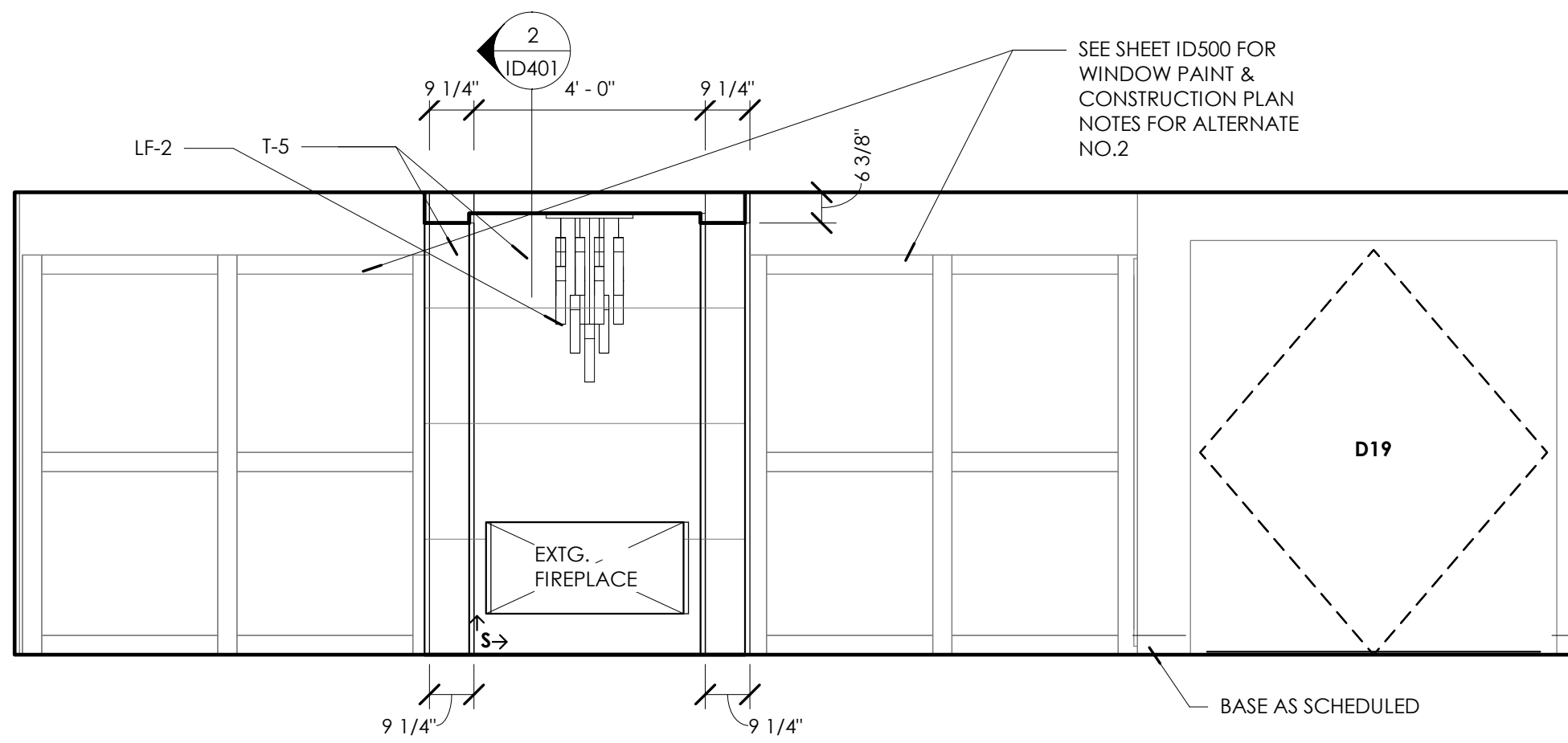
DATE ISSUED
DRAWING SCALE
06/29/2021
As indicated

DRAWING TITLE INTERIOR ELEVATIONS/DETAILS

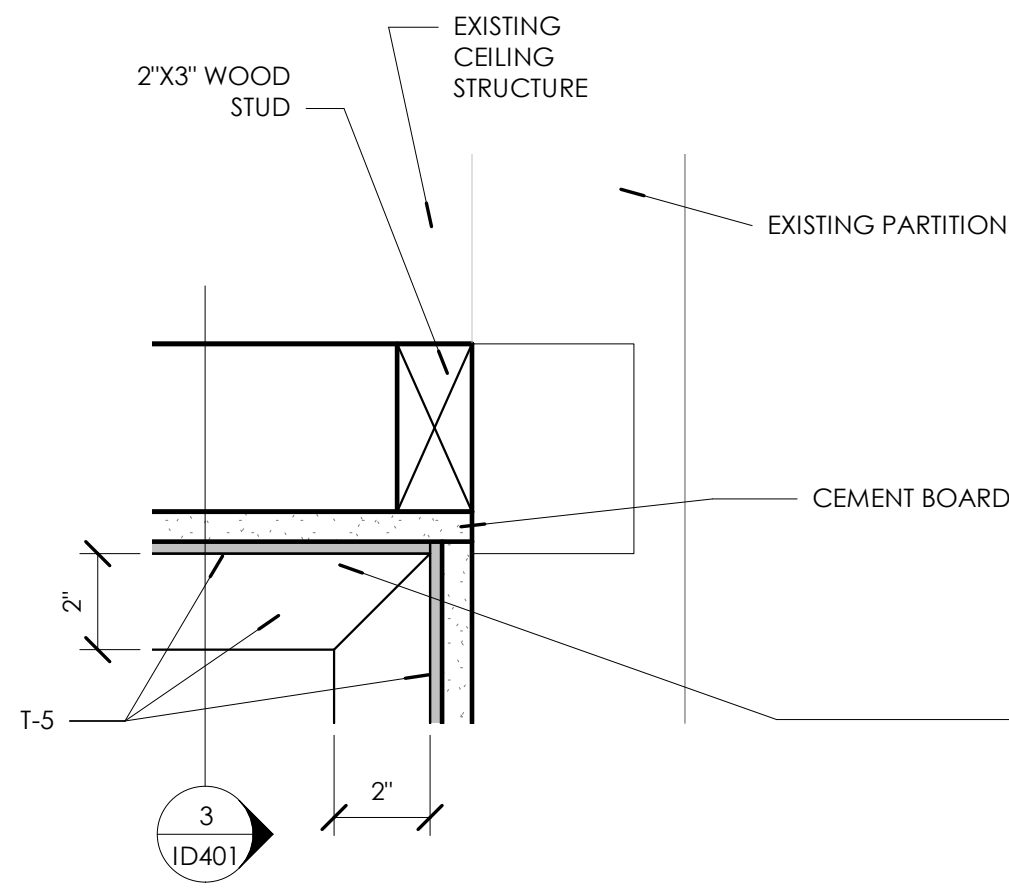
REVISIONS:
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1 08/03/2021 REVISION 1

CONSTRUCTION DOCUMENTS

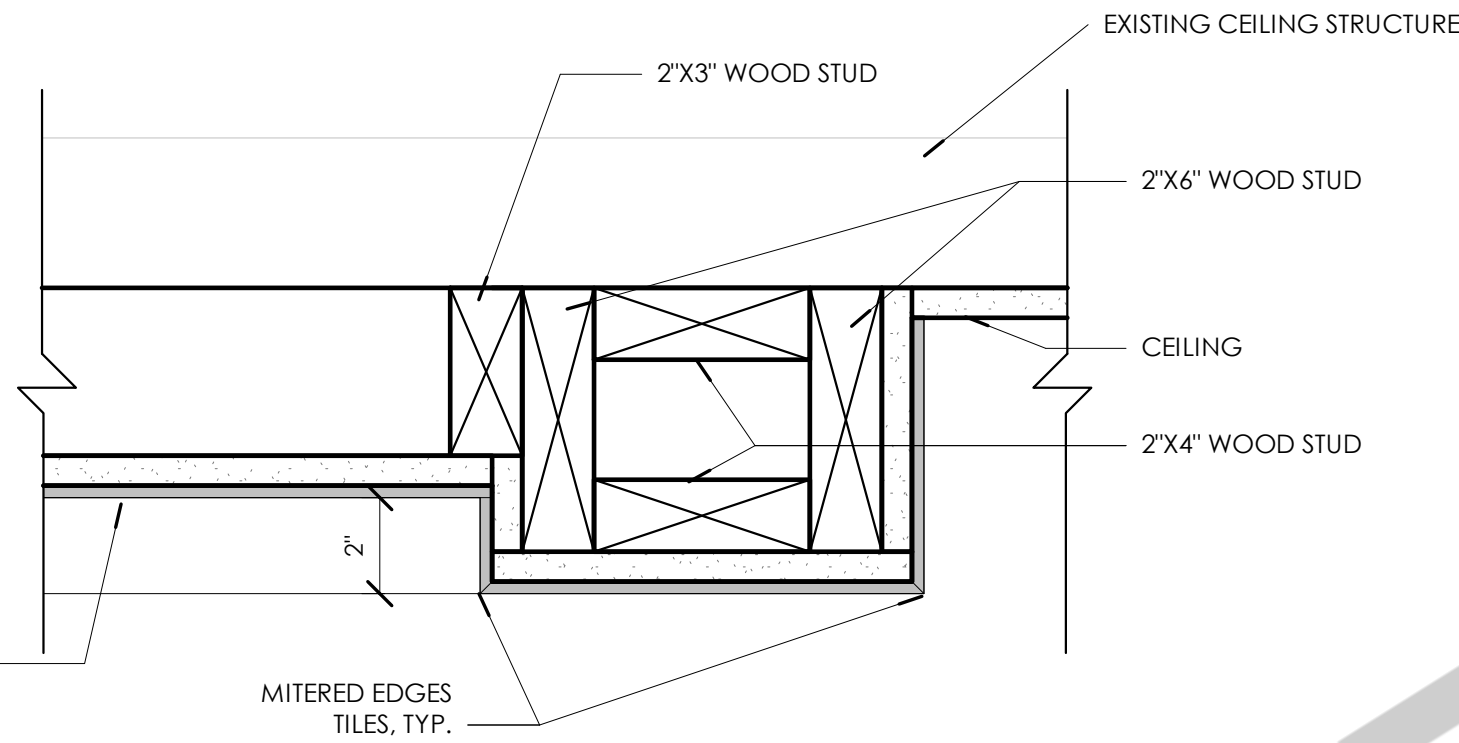
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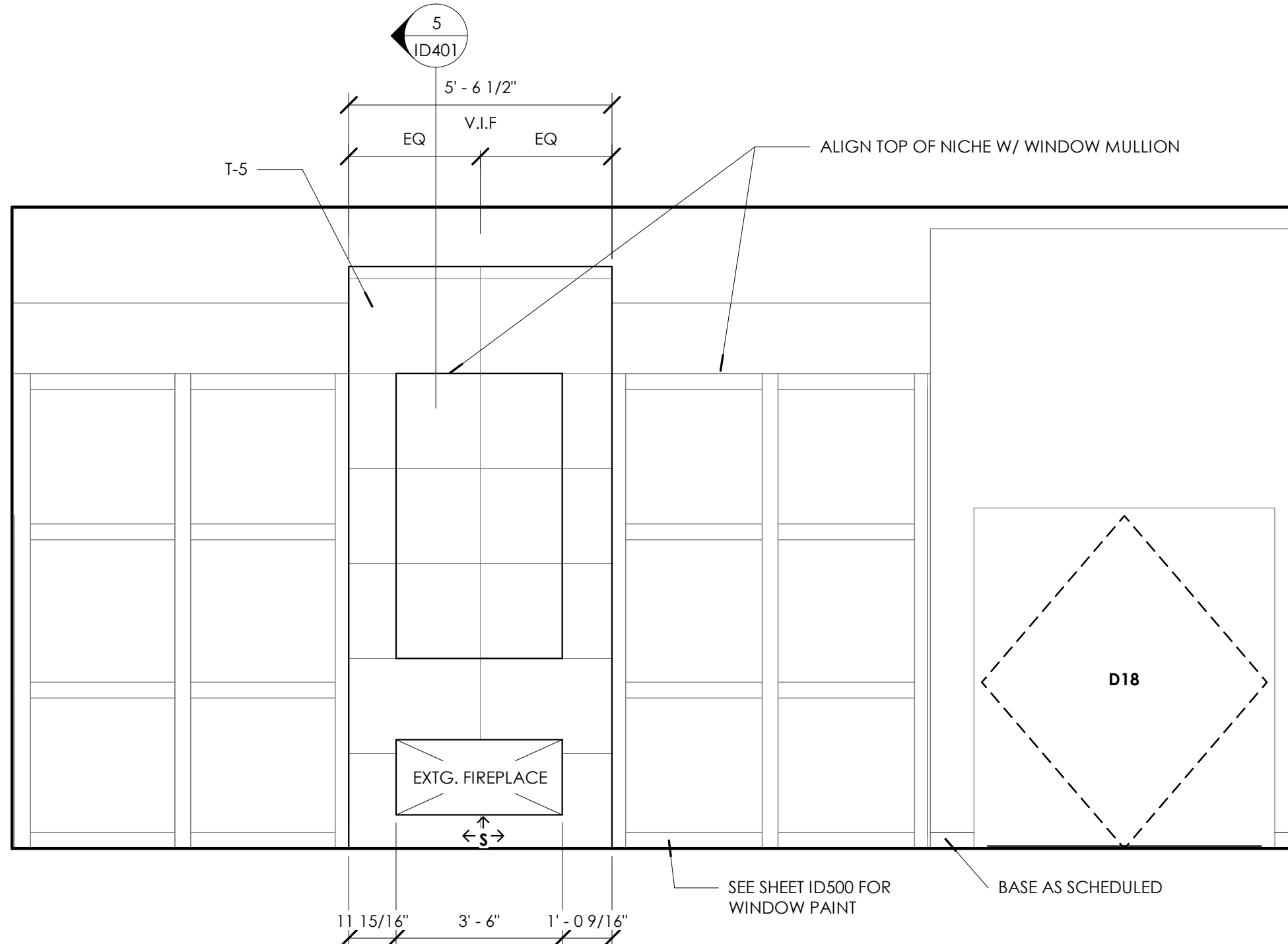
1 FIREPLACE GROUND FLOOR ELEVATION
3/8" = 1'-0"



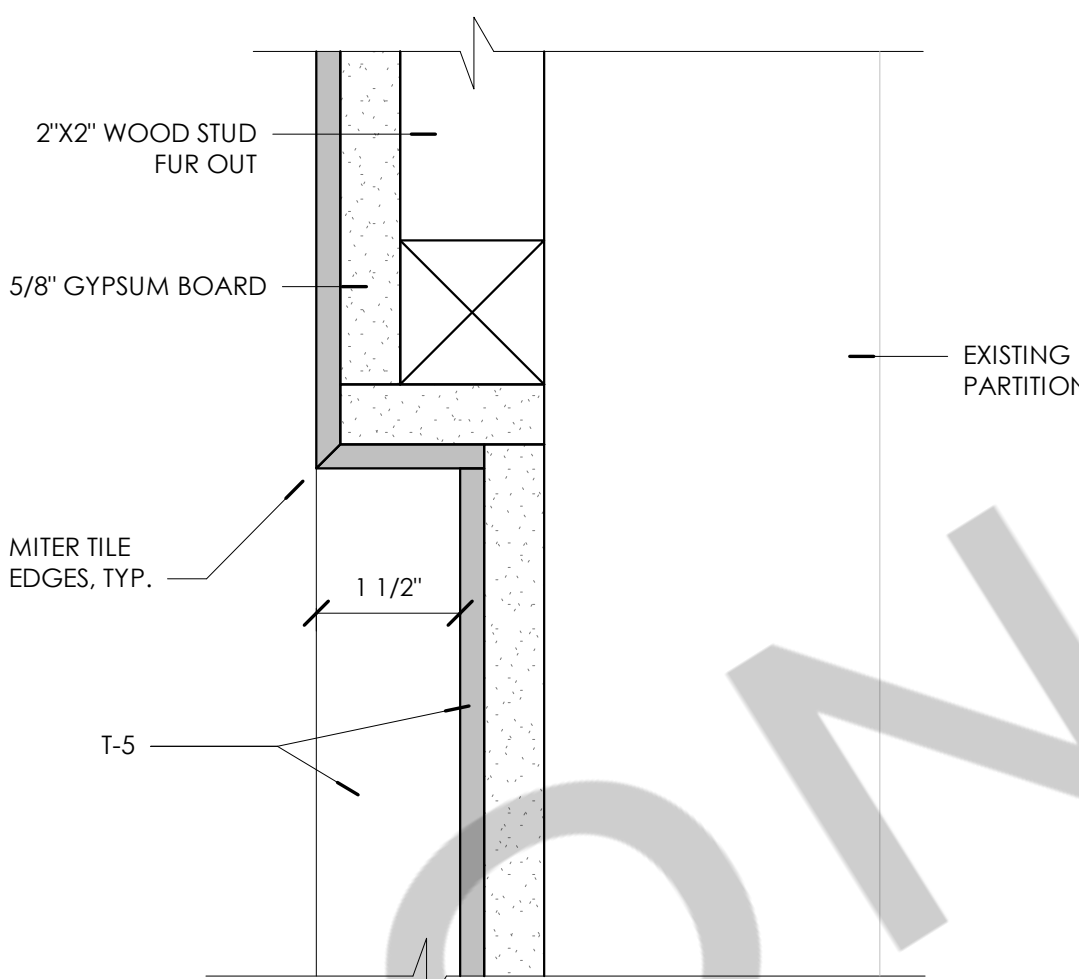
2 GROUND FLOOR FIREPLACE SECTION DETAIL
3" = 1'-0"



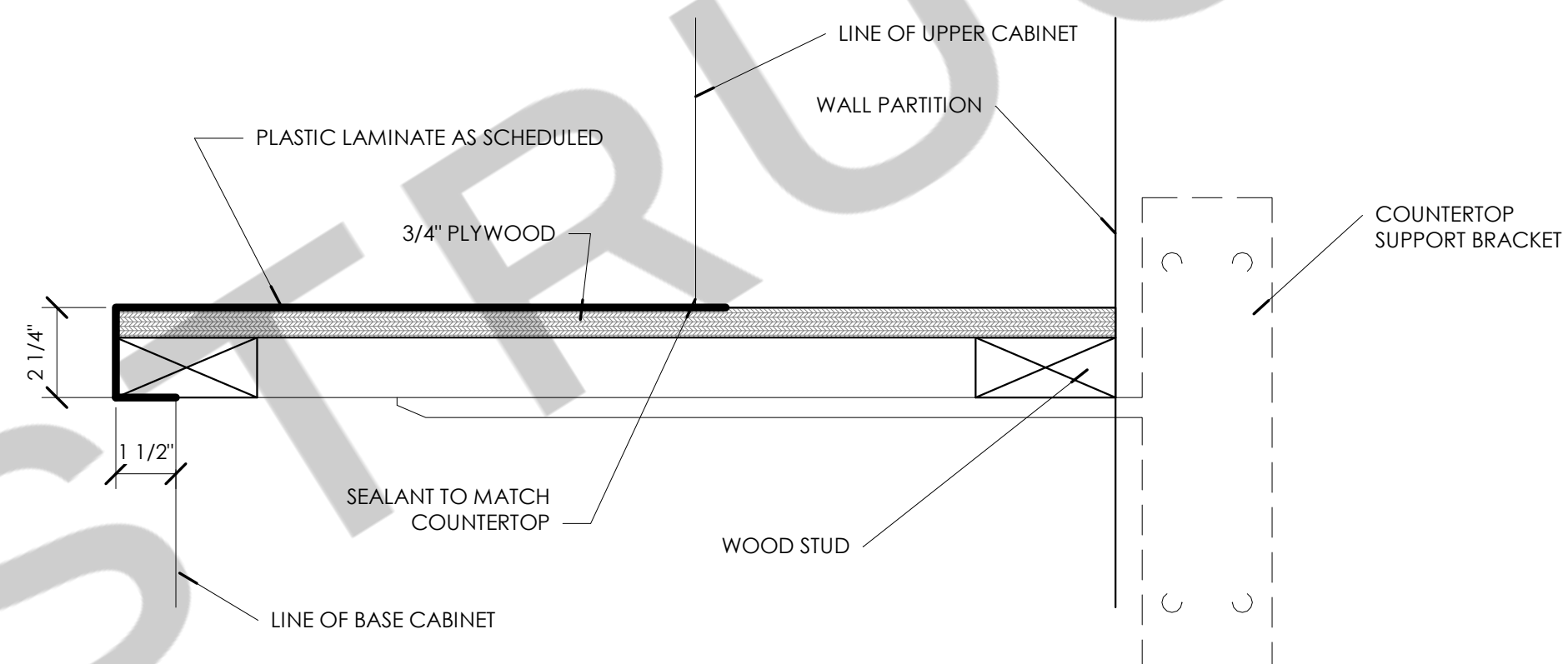
3 GROUND FLOOR FIREPLACE - SOFFIT DETAIL
3" = 1'-0"



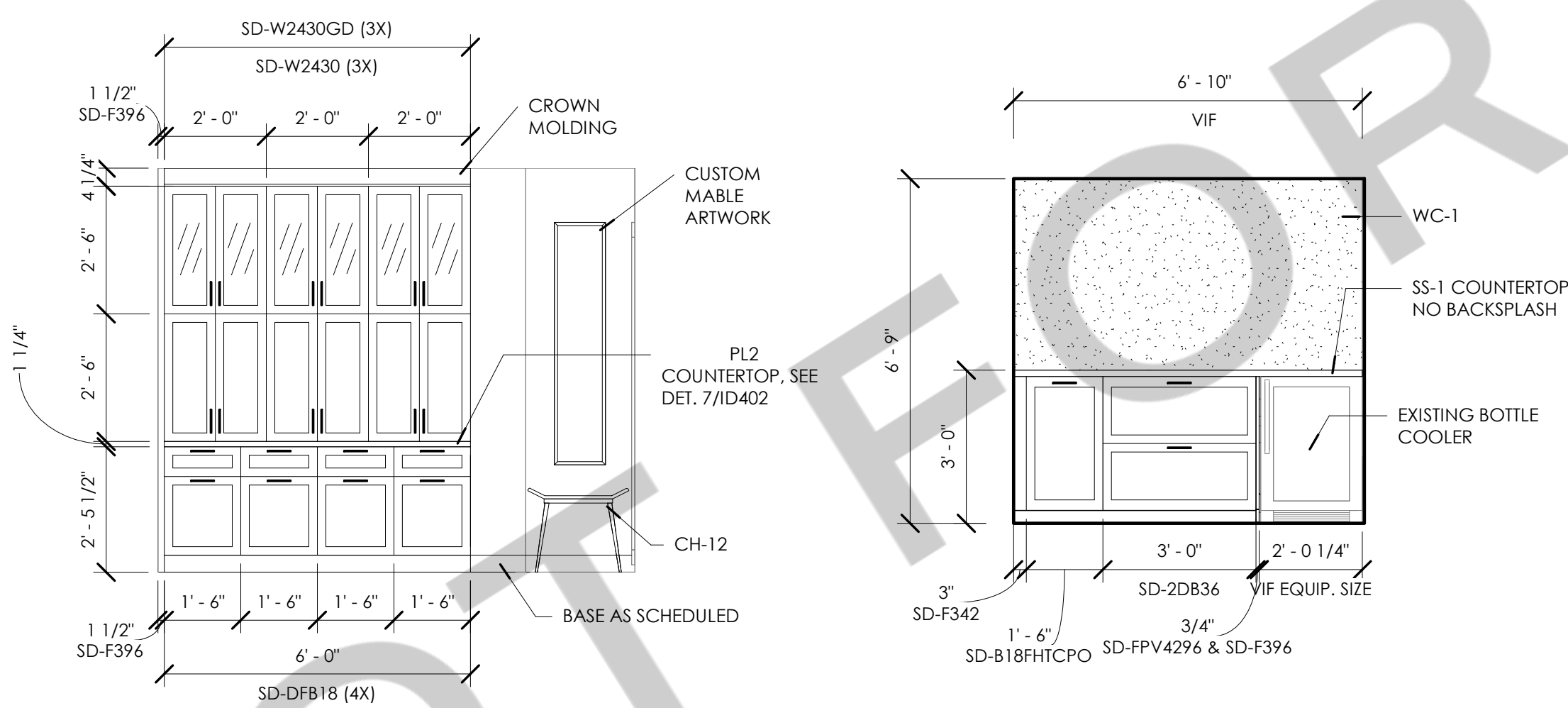
4 FIREPLACE FIRST FLOOR ELEVATION
3/8" = 1'-0"



5 FIREPLACE SECTION DETAIL
6" = 1'-0"

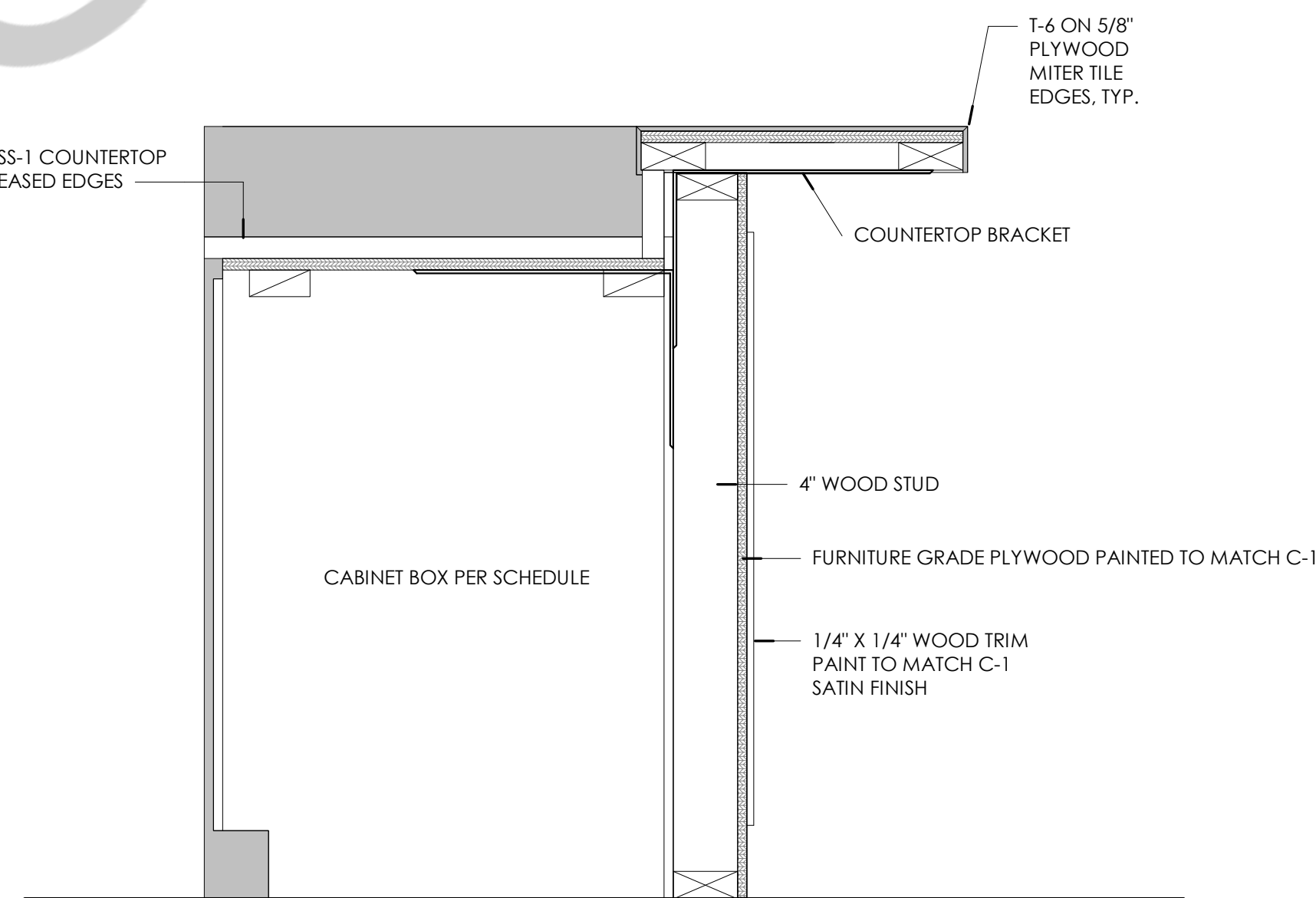


6 LAMINATE COUNTERTOP DETAIL
3" = 1'-0"

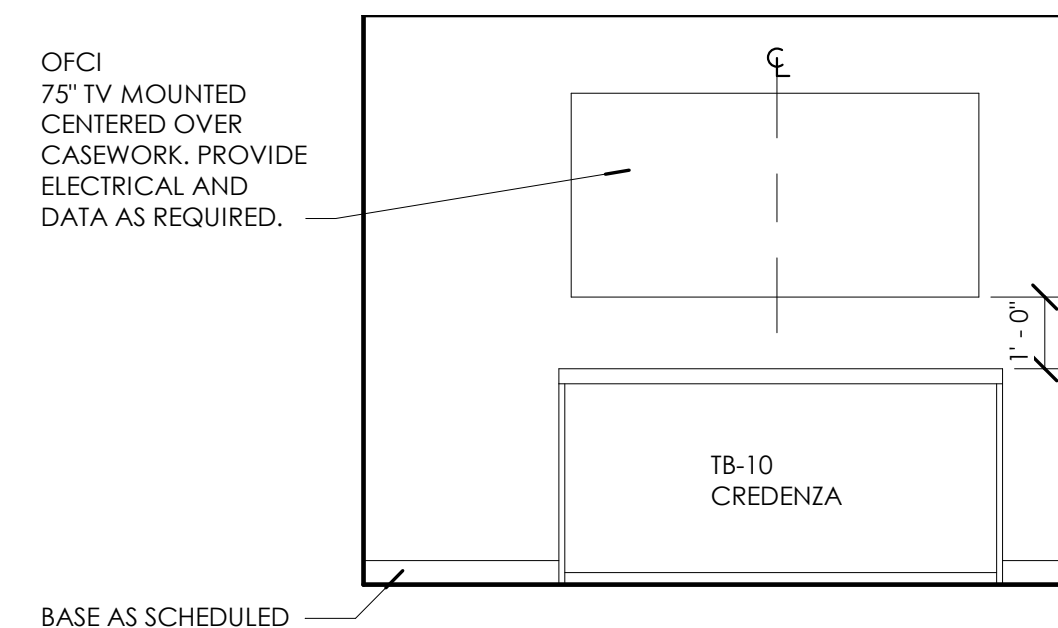


7 MANAGER'S OFFICE
3/8" = 1'-0"

8 COFFEE NOOK
3/8" = 1'-0"



9 BAR SECTION
1 1/2" = 1'-0"



10 BUSINESS CENTER CASEWORK
3/8" = 1'-0"



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CLUB HOUSE

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DRAWING TITLE
**INTERIOR
ELEVATIONS/DETAILS**

REVISIONS:
NUMBER DATE DESCRIPTION

CONSTRUCTION DOCUMENTS
ID401

GROUND LEVEL FINISH SCHEDULE						
Level	NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	WALL BASE	COMMENTS
GROUND LEVEL	WEIGHT GYM	EXISTING TO REMAIN	PT-1	PT-3	PT-1	
GROUND LEVEL	MECHANICAL	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	N/A	
GROUND LEVEL	GAME ROOM	T-1	PT-1	PT-3	PT-1 + T-6 + MI	
GROUND LEVEL	KITCHEN	T-1	PT-1 + T-2	PT-3	PT-1 + T-1	
GROUND LEVEL	WOMEN'S RESTROOM	T-3	T-2	PT-2	N/A	
GROUND LEVEL	MEN'S RESTROOM	T-4	T-2	PT-2	N/A	
GROUND LEVEL	RACQUETBALL	EXISTING TO REMAIN: SAND, STAIN, AND SEAL	PAINT TO MATCH EXISTING	PT-3	PT-1	
GROUND LEVEL	RACQUETBALL FOYER	CPT-1	PT-1	PT-3	PT-1	
GROUND LEVEL	VESTIBULE	T-1	PT-1	PT-3	PT-1	

01 CABINET PULL INSTALLATION DETAIL

1/2" = 1'-0"

02 COUNTERTOP EDGE DETAIL

3" = 1'-0"

03 TRIM DETAILS

3" = 1'-0"

04 STAIR TILE EDGE DETAIL

3" = 1'-0"

FIRST FLOOR FINISH SCHEDULE						
Level	NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	Base Finish	COMMENTS
FIRST FLOOR	STORAGE	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	CLOSET	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	MAIN LOBBY	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	CARDIO GYM	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	BUSINESS CENTER	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	RACQUET BALL	EXISTING TO REMAIN: SAND, STAIN, AND SEAL	PT-1	PT-3	N/A	
FIRST FLOOR	MANAGER	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	OFFICE	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	CORRIDOR	T-1	PT-1	PT-3	PT-1	
FIRST FLOOR	COFFEE NOOK	T-1	WC-1	PT-3	PT-1	

FINISH NOTES

PAIN:

PT-1: SHERWIN WILLIAMS SW 7009 - PEARLY WHITE

PT-2: SHERWIN WILLIAMS SW SW 7069 - IRON ORE

PT-3: SHERWIN WILLIAMS SW 7006 - EXTRA WHITE

WALLCOVERING:

WC-1: MABLE ORIGINALS - CABBAGE PATCH PURPLE

TILE:

T-1: DALTILE - COLORBODY PORCELAIN - TRELLIS OAK - TR23 SMOKE 9"X36" - HERRINGBONE INSTALLATION. GROUT- LATICRETE 78 STERLING SILVER

T-2: DALTILE GLAZED PORCELAIN REMEDY - ELIXIR RD20 - 3"X9". GROUT- TEC 910 BRIGHT WHITE.

T-3: TILE BAR BELLA MORI WHITE AND BLACK ENCAUSTIC - 8.75"X8.75". GROUT- TEC 941 RAVEN

T-4: SOMERTILE TWENTIES FRAME (FRC8TWEEF) - 7 3/4"X 7 3/4". GROUT- TEC 941 RAVEN

T-5: OLYMPUS AMANI GREY POLISHED, 24"X48". GROUT- TEC 939 MIST

T-6: CTC CLASSIC STONE STATUARIO VENICE - 62.99"X125.98". GROUT- TEC 910 BRIGHT WHITE.

SOLID SURFACES:

SS-1: CAMBRIA - WHITEHALL - 2CM

SS-2: CAMBRIA - BRITANNICCA MATTE - 2CM

CARPET:

CPT-1: MOHAWK GROUP - TRANSILIENT SHADOW BROADLOOM - 955 CEMENT

CABINET FINISHES:

C1 - SIMILAR TO CABINET DEPOT SHAKER DOVE

PLASTIC LAMINATE:

PL-1: FORMICA BEIGE ELM - 5794-NG

PL-2: FORMICA PLANKED COFFEE OAK - 7413-PG

RAILING NOTES:

RAILINGS TO BE PAINTED IN PT-2, SATIN FINISH.

DOOR SCHEDULE								
Mark	Panel 1 Width	Panel 2 Width	Panel Height	Panel 1 Type	Frame Type	Frame Finish 1	Panel Finish 1	Comments
D1	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D2	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D3	3' - 0"		7' - 0"	PANEL D	F-2	PT-2	PT-2 + TEMPERED GLASS	STOREFRONT
D4	3' - 0"		7' - 0"	-	F-1	PT-1	-	CASE OPENING
D5	3' - 0"		7' - 0"	-	F-1	PT-1	-	CASE OPENING
D6	3' - 0"		7' - 0"	PANEL D	F-2	PT-1	PT-2 + TEMPERED GLASS	STOREFRONT
D7	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D8	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D9	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D10	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D11	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D12	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D13	3' - 0"		7' - 0"	PANEL A	F-1	PT-1	PT-2	
D14	3' - 0"	3' - 0"	7' - 0"	PANEL B	F-1	PT-1	PT-2	
D15	3' - 0"		7' - 0"	PANEL D	F-2	PT-1	PT-2 + TEMPERED GLASS	STOREFRONT
D16	3' - 0"		7' - 0"	PANEL D	F-2	PT-2	PT-2 + TEMPERED GLASS	STOREFRONT
D17	3' - 0"	3' - 0"	7' - 0"	PANEL C	F-2	PT-2	PT-2 + TEMPERED GLASS	STOREFRONT
D18	3' - 0"	3' - 0"	7' - 0"	PANEL C	F-2	PT-2	PT-2 + TEMPERED GLASS	STOREFRONT
D19	3' - 0"	3' - 0"	7' - 0"	PANEL C	F-2	PT-2	PT-2 + TEMPERED GLASS	STOREFRONT
D20	3' - 0"		7' - 0"	PANEL D	F-2	PT-2	PT-2 + TEMPERED GLASS	STOREFRONT
D21	3' - 0"		7' - 0"			PT-1	-	CASE OPENING
D22	1' - 6"		7' - 0"	PANEL A	F-1	PT-1	PT-2	

DOOR HARDWARE NOTES

NOTE: DOOR HARDWARE TO BE SQUARE LEVER SET BRUSHED NICKEL EQUAL TO KWIKSET HALIFAX SQUARE ROSETTE














1- CONTRACTOR SHALL COORDINATE ALL LOCK AND LATCH SETS AND FINAL KEYING WITH OWNER. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY REQUIRED OR MARKED EXIT. MATCH KEYING SYSTEM IF ONE IS EXISTING.

2- ALL DOOR HARDWARE ON EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT.

OUTLET & SWITCHING NOTES

NOTE: ALL SWITCHES TO BE REPLACED BY SWITCHES EQUAL TO LEVITON WALL IN WHITE, SEE COUNT:

 SINGLE LIGHT SWITCH - 16	 PLATE - 10
 DOUBLE LIGHT SWITCH - 7	 THERMOSTAT - 4
 DOUBLE OUTLET PLATE - 67	 LIGHT SENSOR - 1
 TRIPLE LIGHT SWITCH - 3	 TV POWER + DATA - 1
 SINGLE DATA - 3	 SINGLE DATA - 1
 DOUBLE DATA - 3	



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CLIENT
CLUB HOUSE APARTMENTS

PROJECT LOCATION
NASHVILLE, TN

PROJECT NAME
CLUB HOUSE

DATE ISSUED
DRAWING SCALE
06/29/2021
As indicated

DRAWING TITLE
DETAILS & SCHEDULES

REVISIONS:
NUMBER DATE DESCRIPTION

CONSTRUCTION DOCUMENTS

ID500

DOOR PANEL TYPE

